

GENERAL NOTES FOR RI/CD SITE PLAN, CROSS AND CROWN LUTHERAN CHURCH, 300 PINEVILLE-MATTHEWS ROAD, MATTHEWS, NORTH CAROLINA 28015:

- BUILDINGS, PLANTINGS AND BELL TOWER, AS WELL AS ALL COMMUNICATIONS ANTENNAS, EQUIPMENT AND FACILITIES, SHALL BE IN COMPLIANCE WITH SETBACKS SHOWN.
- ZONING: RI/CD WITH PERMITTED USES LISTED ON EXHIBIT A ATTACHED.
- SETBACKS: 75' AND 50' AS SHOWN.
- PLANTING BUFFERS: 20' AS SHOWN.
- STRUCTURES ERECTED ON THE PROPERTY SHALL BE LOCATED WITHIN THE BUILDING SETBACK LIMITS AS SHOWN ON THE SITE PLAN WITH BUILDING FOOTPRINTS AS FOLLOWS:
 - FAMILY LIFE BUILDING - 25,000 SQ. FT.
 - SANCTUARY BUILDING - 15,000 SQ. FT.
 - MISSON BUILDING - 2,000 SQ. FT.
 - BELL TOWER - AS SHOWN

ANY CHANGES TO THE ABOVE STRUCTURES SHALL BE SUBJECT TO TOWN OF MATTHEWS PRIOR APPROVAL AS TO (I) PLACEMENT WITHIN THE PROPERTY AND (II) DESIGN OF THE ELEVATION AND USE OF BUILDING MATERIALS COMPATIBLE WITH EXISTING STRUCTURES.

6. THIS PLAN AND THESE GENERAL NOTES, TOGETHER WITH EXHIBIT A ATTACHED HERETO, SUPERSEDE AND REPLACE THE PROPOSED SITE DIAGRAM FOR CROSS AND CROWN LUTHERAN CHURCH, APPROVED JUNE 10, 2002, TOGETHER WITH THE ADDENDUM TO THE PETITION FOR A CHANGE IN ZONING APPLICATION, PROPOSED CONDITIONS TO APPROVAL OF RI CD ZONING CLASSIFICATION, WHICH WAS ATTACHED THERETO.

7. IN THE EVENT OF A REQUEST FOR A HEIGHT EXTENSION FOR THE BELL TOWER, THE REQUEST WILL GO THROUGH THE ZONING AMENDMENT PROCESS.

CITY OF CHARLOTTE
c/o REAL ESTATE DIVISION
PARCEL ID: 21329167
600 E. 4th STREET
ZONED: R15

TRIPLE E ASSOCIATES
PARCEL ID: 21329105
1850 E. THIRD ST
ZONED: R15

TOWN OF MATTHEWS
PARCEL ID: 21329189
232 MATTHEWS STATION ST.
ZONED: R15

PARENT PARCEL:
OWNER: CROSS & CROWN LUTHERAN CHURCH
PARCEL ID: 21329104
DEED BOOK 5965, PG. 525

DAVID E. JONES, JR AND PAMELA S. JONES
PARCEL ID: 21329167
329 SILVERSMITH LN
ZONED: R3

LINDA E. GILBERT AND STEPHEN GILBERT
PARCEL ID: 21329168
335 SILVERSMITH LN
ZONED: R3

SAMUEL W. HATCHER AND CAROL B. HATCHER
PARCEL ID: 21329169
343 SILVERSMITH LN
ZONED: R3

MICHAEL A. SMITH AND DIANA H. SMITH
PARCEL ID: 21329170
349 SILVERSMITH LN
ZONED: R3

MATTHEW J. BRUMMER AND JENNIFER H. BRUMER
PARCEL ID: 21329171
401 SILVERSMITH LN
ZONED: R3

THEODORE A. HARAKAS AND ELIZABETH K. HARAKAS
PARCEL ID: 22703313
100 COURTNEY LN.
ZONED: R20

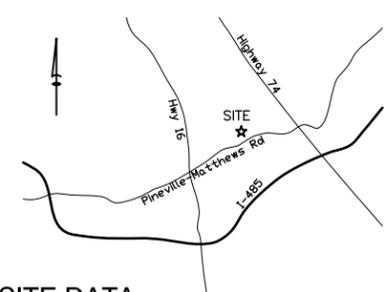
F&N PROPERTIES, LLC
PARCEL ID: 22703228
101 COURTNEY LN.
ZONED: R20

HEATHER G. SMITH
PARCEL ID: 22703268
9906 DEVEREAUX DR.
ZONED: R20

PATRICIA L. CLARK AND LARRY A. CLARK
PARCEL ID: 22703250
9905 DEVEREAUX DR.
ZONED: R20

SUZANNE C. HORTON
PARCEL ID: 22703248
221 PINEVILLE-MATTHEWS RD.
ZONED: R12

LOCATION MAP: 9-12-2016 NOT TO SCALE



SITE DATA

JURISDICTION: CITY OF MATTHEWS

ZONING: ZONING CLASSIFICATION: R/I (CD)

TOTAL SITE SIZE: TOTAL PARCEL ACREAGE: ±8.34 AC

PARCEL INFO: DEED REFERENCE: DB 5965, PG 525
PARCEL ID #: 21329104

TOWER NOTES:

STRUCTURE TYPE:	STEALTH (BELL TOWER)
LEASE AREA:	3,100 SQ. FT.
CONSTRUCTION AREA:	±3,100 SQ. FT.
LATITUDE (NAD 83):	35° 06' 59.74" N
LONGITUDE:	80° 44' 36.31" W
GROUND ELEVATION:	702.10' A.M.S.L.
LIMITS OF CLEARING:	±3,200 SQ. FT.

BASE INFORMATION:

BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY:
ALLIED LAND SURVEYING CO. P.A.
4720 KESTER MILL ROAD
WINSTON-SALEM, NC 27103
PHONE: (336) 765-2377
FAX: (336) 750-8886
EMAIL: INFO@ALLIED-ENGSURV.COM

DEVELOPMENT NAME

LUTHERAN CHURCH - US-NC-5027
SITE ADDRESS: 300 PINEVILLE-MATTHEWS ROAD
MATTHEWS, NC 28105

OWNER

CROSS & CROWN LUTHERAN CHURCH
300 PINEVILLE-MATTHEWS ROAD
MATTHEWS, NC 28105

INFINIGY
FROM ZERO TO INFINIGY
the solutions are endless

No.	Submitted / Revision	App'd	Date
0	ISSUED FOR REVIEW	CJW	09/08/16

Drawn: PHR Date: 09/08/16
Designed: PHR Date: 09/08/16
Checked: CJW Date: 09/08/16

Project Number: 404-026
Project Title: US-NC-5027
LUTHERAN CHURCH
300 PINEVILLE-MATTHEWS RD
MATTHEWS, NC 28105

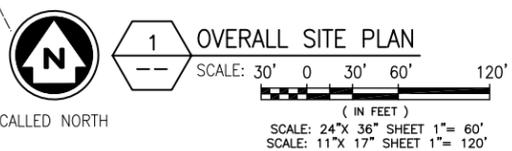


AMENDMENT TO RI/CD SITE PLAN CROSS AND CROWN LUTHERAN CHURCH, 300 PINEVILLE-MATTHEWS ROAD, MATTHEWS, NORTH CAROLINA 28015

Drawing Scale: AS NOTED
Date: 09/08/16
CD

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INFORMATION SHOWN BASED ON A FIELD SURVEY BY ALLIED LAND SURVEYING DATED 04/28/16.

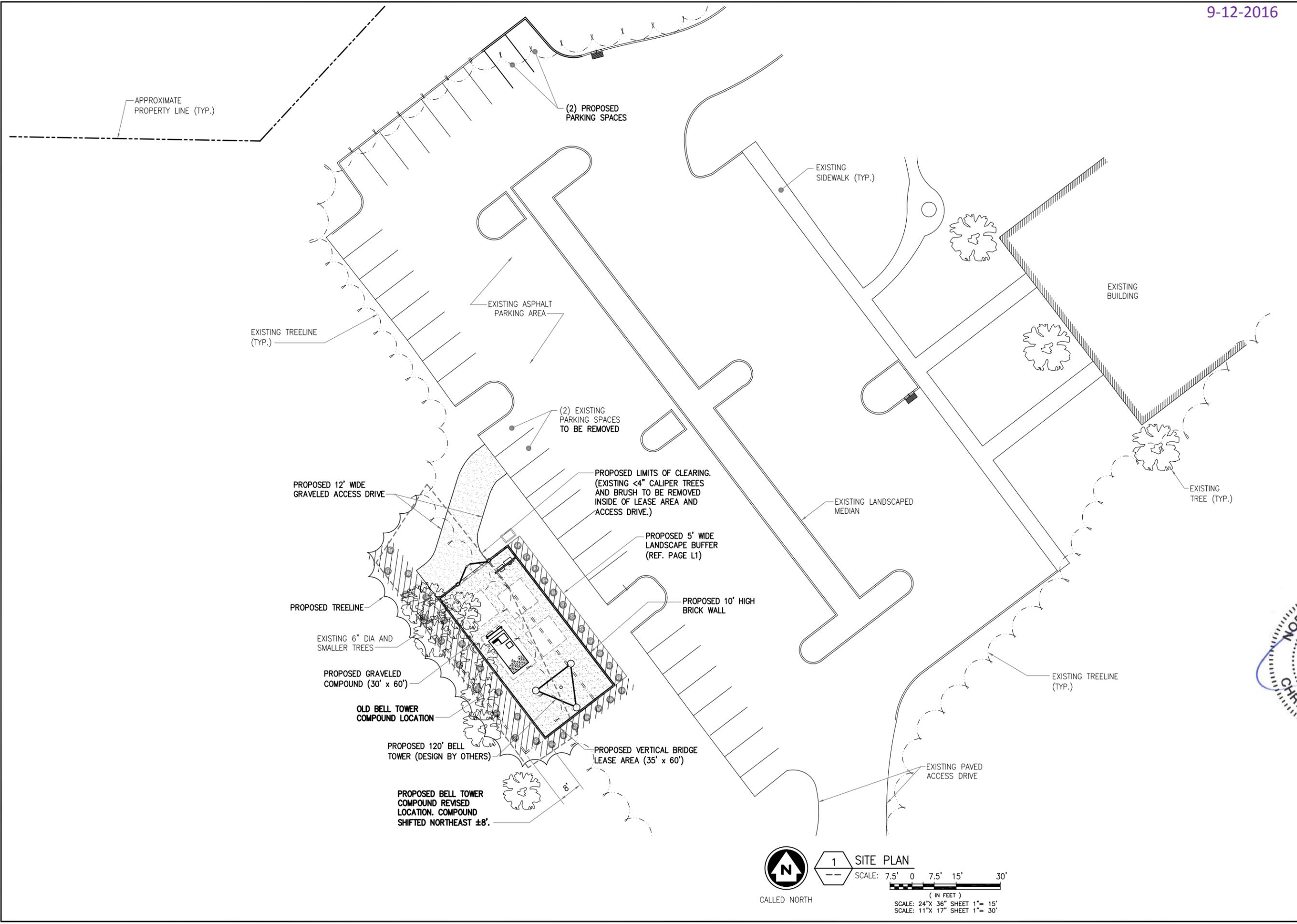


CALLLED NORTH

1 OVERALL SITE PLAN

SCALE: 30' 0 30' 60' 120'

(IN FEET)
SCALE: 24"X 36" SHEET 1"= 60'
SCALE: 11"X 17" SHEET 1"= 120'



No.	Submitted / Revision	App'd	Date
0	ISSUED FOR REVIEW	CJW	09/08/16

Project Number 404-026

Project Title
US-NC-5027
LUTHERAN CHURCH

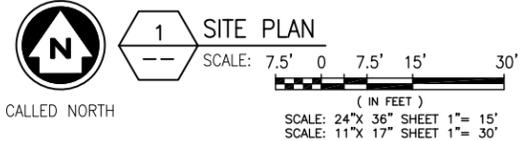
300 PINEVILLE/MATTHEWS RD
MATTHEWS, NC 28105



AMENDMENT TO R1/CD
SITE PLAN, CROSS AND
CROWN LUTHERAN
CHURCH, 300
PINEVILLE-MATTHEWS
ROAD, MATTHEWS,
NORTH CAROLINA 28015

Drawing Scale: AS NOTED
Date: 09/08/16
CD

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verticalbridge

US-NC-5027 LUTHERAN CHURCH
Cross & Crown Lutheran Church
300 Pineville-Matthews Road, Matthews, NC

**120ft. BELL TOWER
SIMULATION**

View from church parking lot
approximately 200ft. north of site

**Exhibit A to RI/CD Site Plan, Cross and Crown Lutheran Church,
300 Pineville-Matthews Road, Matthews, North Carolina 28015**

**Permitted Uses for Cross and Crown Lutheran Church Site, 300 Pineville-Matthews Road
Petition 414**

§ 153.056 RESIDENTIAL/INSTITUTIONAL DISTRICT.

(A) *Permitted uses.* The following are permitted by right in the Residential/Institutional District.

- (1) ~~Arboretum.~~
- (2) Parks and playgrounds, operated on a noncommercial basis for the purpose of public recreation excluding baseball and sports fields.
- (3) ~~Temporary buildings and storage of materials in conjunction with construction of a building or use on a lot where construction is taking place or on adjacent lots, such temporary uses to be terminated upon completion of construction, issuance of certificate of occupancy, or invalidation of building permit.~~
- (4) ~~Fire stations, police stations, and emergency response stations.~~
- (5) ~~Public libraries.~~
- (6) ~~Cemeteries, with or without sales office, chapel, or other enclosed use, provided only one building is located for those uses on the site.~~

(B) *Uses under prescribed conditions.* The following uses are permitted subject to the conditions governing each use as specified in the appropriate sections.

- (1) Churches, synagogues, and related uses. See § 153.053.
- (2) ~~Community recreation centers. See §§ 153.053 and 153.186.~~
- (3) ~~Country clubs, swimming, and racket clubs operated on noncommercial membership basis. See §§ 153.053 and 153.186.~~
- (4) Schools, elementary, junior and senior high, public and private. See § 153.053.
- (5) Child day care homes and child day care facilities. See §§ 153.053 and 153.181.
- (6) ~~Adult day care centers. See § 153.053.~~
- (7) ~~Nursing homes, rest homes, and homes for the aged. See §§ 153.053 and 153.182.~~
- (8) ~~Colleges and universities with all accessory facilities except stadiums. See § 153.053.~~
- (9) ~~Hospitals. See § 153.053.~~
- (10) ~~Dormitories for the students of colleges and schools providing adult training and for the staff of hospitals, operated by and located on the principal site of the institution served. See § 153.053.~~
- (11) ~~Monasteries and convents. See § 153.053.~~
- (12) ~~Cemeteries with mausoleums and/or crematoriums. See § 153.053.~~
- (13) ~~On-site demolition disposal site. See § 153.190.~~
- (14) Temporary uses when such uses are allowed as permanent uses in the district, and short-term temporary uses of seven days or less duration which are of a civic or nonprofit nature, or a festival of local, national or historic significance. See § 153.191.
- (15) ~~Indoor and/or outdoor tennis and racket clubs, and associated swimming pools and swimming facilities, operated on a commercial basis, which meet all the requirements of~~

the district, and additionally, (1) do not have permanent spectator viewing facilities, (2) have no more than ten courts total, (3) do not exceed 3,936 square feet in pool size, (4) are restricted to clubs which have no more than 300 pool memberships and no more than 300 tennis memberships, (5) pools are not within 100 feet of any adjoining property lines, (6) are limited to pool hours of operation from 10.00 a.m. to 8.00 p.m.; (7) pools are not within 150 feet of any residentially zoned or used property line and that there be a border that is 100% opaque to a height of six feet. Measurements on (5) and (7) above shall be from pool or decking exterior adjacent to the pool, whichever would produce the greater buffer. See §§ 153.053 and 153.186.

- (16) ~~Commercial riding stable where not more than two horses per acre may be boarded, ridden and trained. See §§ 153.053 and 153.192.~~
- (17) ~~Transit stop shelters. See § 153.184.~~
- (18) Electric and telephone poles supporting hardwire systems and communications antennas or communications towers. See § 153.172. (Ord. 912, passed 1-27-97)
- (19) ~~Golf practice facilities, including driving ranges, practice greens and sand traps may be established as part of an indoor and/or outdoor tennis and racket club as permitted by Section 153.056(B)(15). Such facilities must comply with the provisions of Section 153.186. The development of a golf practice facility pursuant to this section is permitted only for tennis and swim clubs which have been established pursuant to Section 153.056(B)(15). Any such facility constructed as part of an indoor and/or outdoor tennis and racket club may have its own separate facilities in accordance with the provisions of Section 153.056(C). (Ord. No. 1096, passed 1-10-00)~~

(C) *Accessory uses.* The following accessory uses are permitted in the Residential/Institutional District.

- (1) Accessory uses, clearly incidental to the permitted use.
- (2) Parking for permitted uses.
- (3) ~~Petroleum storage, accessory to a permitted principal use or building, subject to the Fire Prevention Code of the National Board of Fire Underwriters.~~
- (4) ~~Vending machines for cigarettes, candy, soft drinks and similar items, and coin-operated laundries located within an enclosed building.~~
- (5) ~~Commercial uses within an enclosed building of a permitted use, such as cafeterias, snack bars and sundries shops, providing they do not exceed 10% of the building's gross floor area.~~
- (6) ~~Satellite dishes and swimming pools with minimum visibility from front property line.~~
- (7) ~~An indoor and/or outdoor tennis and racket club operated on a commercial basis may have a tennis pro shop and/or club office space provided they do not exceed in size a total of 500 square feet of heated space, as an accessory use to the tennis club and as a part of a single structure up to 1500 heated square feet may be used by club members for recreational and social purposes, included in this 1500 square foot calculation shall be included all locker/shower rooms, exercise rooms, social areas and rest rooms which shall be the only permitted uses within this area of the structure, maximum total heated square footage shall not exceed 2000 square feet.~~
- (8) ~~Storage sheds for the keeping and maintenance of animals at a commercial riding stable.~~

PROJECT DESCRIPTION:

CONSTRUCTION OF TELECOMMUNICATIONS AND PUBLIC UTILITY FACILITY, CONSISTING OF A BELL TOWER, SPACE FOR CARRIER EQUIPMENT, AND A UTILITY BACKBOARD WITHIN A FENCED COMPOUND. NO WATER OR SEWER IS REQUIRED. THIS WILL BE AN UNMANNED FACILITY.

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- | | |
|--|---|
| 1. 2009 INTERNATIONAL BUILDING CODE | 11. IEEE C2 NATIONAL ELECTRIC SAFETY CODE, LATEST EDITION |
| 2. 2014 NATIONAL ELECTRIC CODE | 12. TELECORDIA GR-1275 |
| 3. 2009 NFPA101 LIFE SAFETY CODE | 13. ANSI/T 311 |
| 4. 2009 IFC | 14. UNIFORM MECHANICAL CODE |
| 5. AMERICAN CONCRETE INSTITUTE | 15. UNIFORM PLUMBING CODE |
| 6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION | 16. LOCAL BUILDING CODE |
| 7. MANUAL OF STEEL CONSTRUCTION, 13TH EDITION | 17. CITY/COUNTY ORDINANCES |
| 8. ANSI/TIA/EIA-222-G | 18. STATE BUILDING CODE |
| 9. TIA 607 | |
| 10. INSTITUTE FOR ELECTRICAL & ELECTRONICS ENGINEER 81 | |



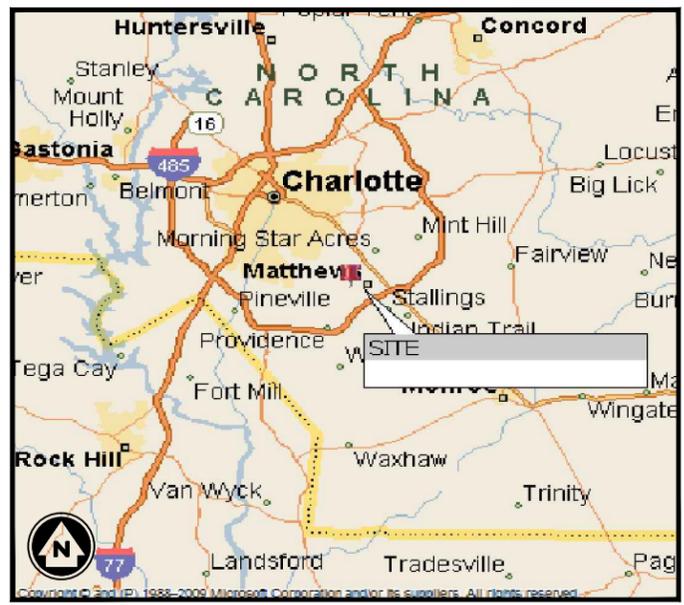
**US-NC-5027
LUTHERAN CHURCH
300 PINEVILLE MATTHEWS ROAD
MATTHEWS, NC 28105
120' BELL TOWER**

APPROVAL BLOCK				
		APPROVED	APPROVED AS NOTED	DISAPPROVED/REVISE
VERTICAL BRIDGE	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONSTRUCTION MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PERMITTING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEERING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



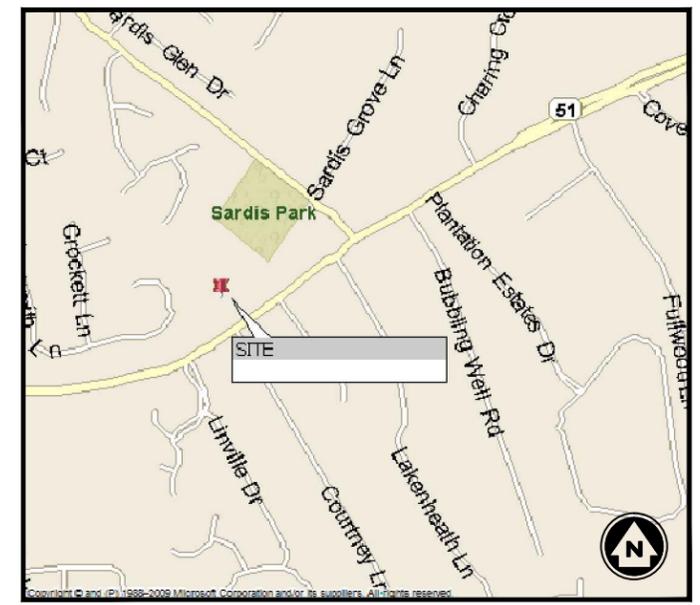
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FROM ZERO TO INFINIGY
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2255 SEWELL MILL ROAD, SUITE 130
MARIETTA, GA 30062
Office # (678) 444-4463



VICINITY MAP
N.T.S.

DRAWING INDEX			
DRWG. #	TITLE	REV.#	DATE
T1	TITLE SHEET	2	07/26/16
Z1	OVERALL SITE PLAN	2	07/26/16
Z2	SITE PLAN	2	07/26/16
Z3	COMPOUND PLAN & TOWER ELEVATION	2	07/26/16
Z4	LANDSCAPE PLAN	2	07/26/16



LOCATION MAP
N.T.S.

PROJECT INFORMATION	
SITE NAME:	LUTHERAN CHURCH
SITE NUMBER:	US-NC-5027
SITE ADDRESS:	300 PINEVILLE MATTHEWS ROAD MATTHEWS, NC 28105
TAX PIN #:	-
DEED REFERENCE:	DEED BOOK 5965, PAGE 525
PARCEL I.D. #:	21329104
ZONING CLASSIFICATION:	R/1 (CD)
ZONING JURISDICTION:	CITY OF MATTHEWS
GROUND ELEVATION:	702.10' A.M.S.L.
STRUCTURE TYPE:	STEALTH (BELL TOWER)
CONSTRUCTION AREA:	±3,100 SQ. FT.
LEASE AREA:	3,100 SQ. FT.
LATITUDE (NAD 83):	35° 06' 59.74" N
LONGITUDE:	80° 44' 36.31" W

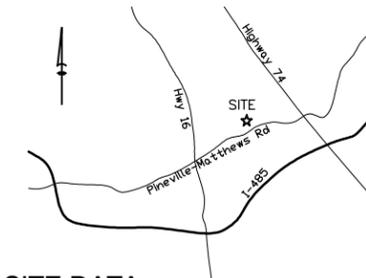
DIG ALERT:
CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING:
811
EMERGENCY:
CALL 911

PROJECT DIRECTORY	
PROPERTY OWNER:	CROSS & CROWN LUTHERAN CHURCH 300 PINEVILLE MATTHEWS ROAD MATTHEWS, NC 28105
APPLICANT:	VERTICAL BRIDGE 750 PARK OF COMMERCE DRIVE, SUITE 200 BOCA RATON, FL 33487
CONTACT:	CAROLYN GOULD PHONE: (770) 331-8376
ENGINEER:	INFINIGY 2255 SEWELL MILL ROAD SUITE 130 MARIETTA, GA 30062
CONTACT:	PETER RYNER PHONE: (678) 444-4463
POWER COMPANY:	DUKE ENERGY - (800) 777-9898
TELCO COMPANY:	WINDSTREAM - (336) 924-5101

2	ISSUED FOR REVIEW	CJW	07/26/16
1	ISSUED FOR REVIEW	CJW	06/01/16
0	ISSUED FOR REVIEW	CJW	05/16/16
No.	Submitted / Revision	App'd	Date
Drawn:	MJU	Date:	05/16/16
Designed:	MJU	Date:	05/16/16
Checked:	MJU	Date:	05/16/16
Project Number	404-026		
Project Title	US-NC-5027 LUTHERAN CHURCH 300 PINEVILLE MATTHEWS RD MATTHEWS, NC 28105		
Engineer Stamp			
Drawing Title	TITLE SHEET		
Drawing Scale:	AS NOTED	ZD	
Date:	05/16/16		
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF APPLICABLE STATE AND/OR LOCAL LAWS			
Drawing Number	T1		

7-28-2016

LOCATION MAP: NOT TO SCALE



SITE DATA

JURISDICTION:
CITY OF MATTHEWS

ZONING:
ZONING CLASSIFICATION: R/I (CD)

TOTAL SITE SIZE:
TOTAL PARCEL ACREAGE: ±8.34 AC

PARCEL INFO:
DEED REFERENCE: DB 5965, PG 525
PARCEL ID #: 21329104

TOWER NOTES:
STRUCTURE TYPE: STEALTH (BELL TOWER)
LEASE AREA: 3,100 SQ. FT.
CONSTRUCTION AREA: ±3,100 SQ. FT.
LATITUDE (NAD 83): 35° 06' 59.74" N
LONGITUDE: 80° 44' 36.31" W
GROUND ELEVATION: 702.10' A.M.S.L.
LIMITS OF CLEARING: ±3,200 SQ. FT.

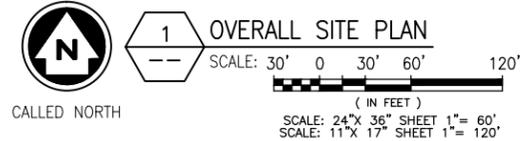
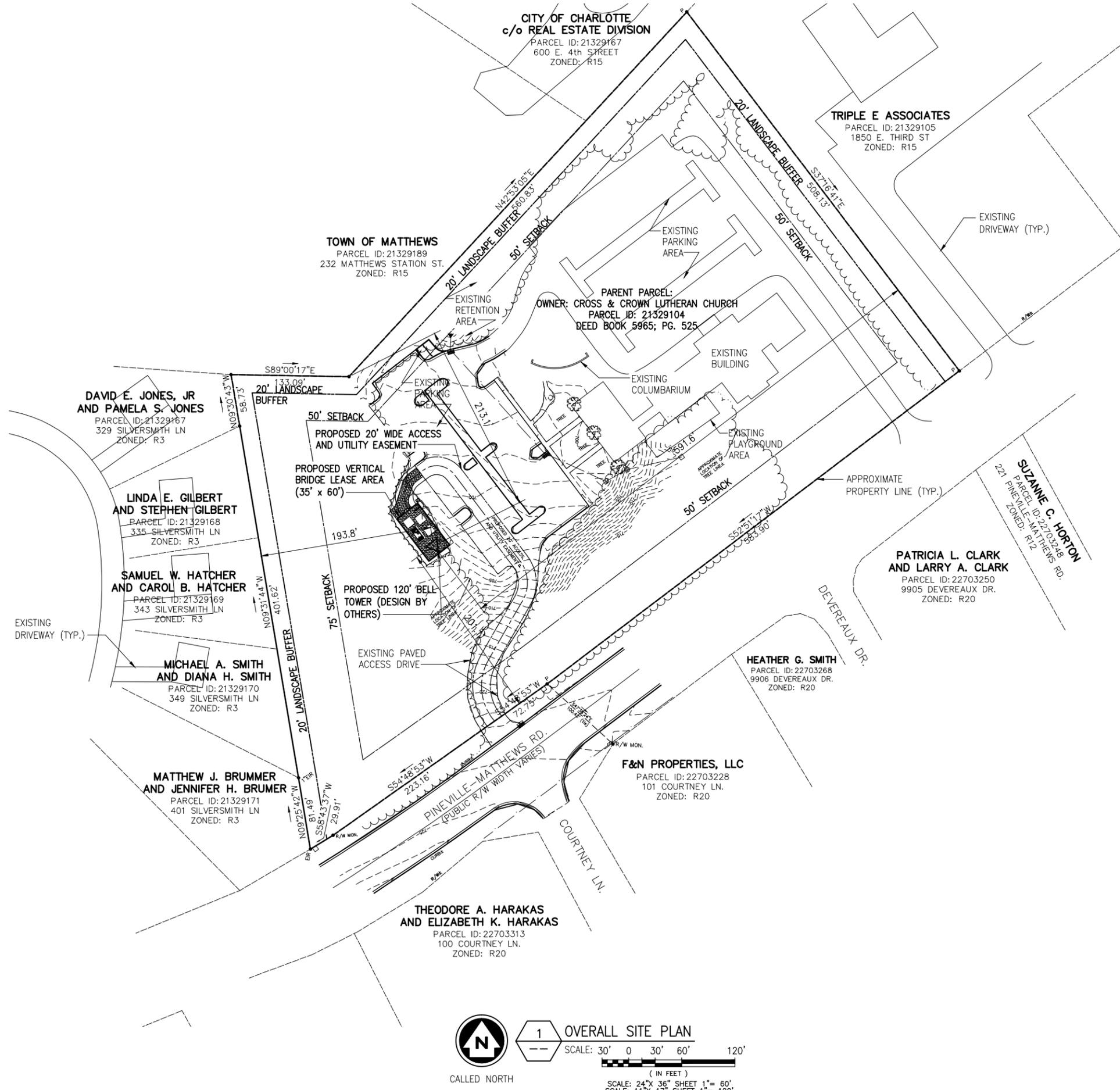
BASE INFORMATION:
BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY:
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WINSTON-SALEM, NC 27103
PHONE: (336) 765-2377
FAX: (336) 750-8886
EMAIL: INFO@ALLIED-ENGSURV.COM

DEVELOPMENT NAME

LUTHERAN CHURCH – US-NC-5027
SITE ADDRESS: 300 PINEVILLE MATTHEWS ROAD
MATTHEWS, NC 28105

OWNER

CROSS & CROWN LUTHERAN CHURCH
300 PINEVILLE-MATTHEWS ROAD
MATTHEWS, NC 28105



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0	ISSUED FOR REVIEW	CJW	05/16/16

Drawn: M.J.J. Date: 05/16/16
Designed: M.J.J. Date: 05/16/16
Checked: M.J.J. Date: 05/16/16

Project Number: 404-026
Project Title: US-NC-5027
LUTHERAN CHURCH
300 PINEVILLE MATTHEWS RD
MATTHEWS, NC 28105

Engineer Stamp

Drawing Title: OVERALL SITE PLAN

Drawing Scale: AS NOTED
Date: 05/16/16
ZD

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF APPLICABLE STATE AND/OR LOCAL LAWS

Drawing Number: **Z1**

INFORMATION SHOWN BASED ON A FIELD SURVEY BY ALLIED LAND SURVEYING DATED 04/28/16.

2	ISSUED FOR REVIEW	CJW	07/26/16
1	ISSUED FOR REVIEW	CJW	06/01/16
0	ISSUED FOR REVIEW	CJW	05/16/16
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Drawn: M.J. Date: 05/16/16
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Project Title
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LUTHERAN CHURCH
 300 PINEVILLE MATTHEWS RD
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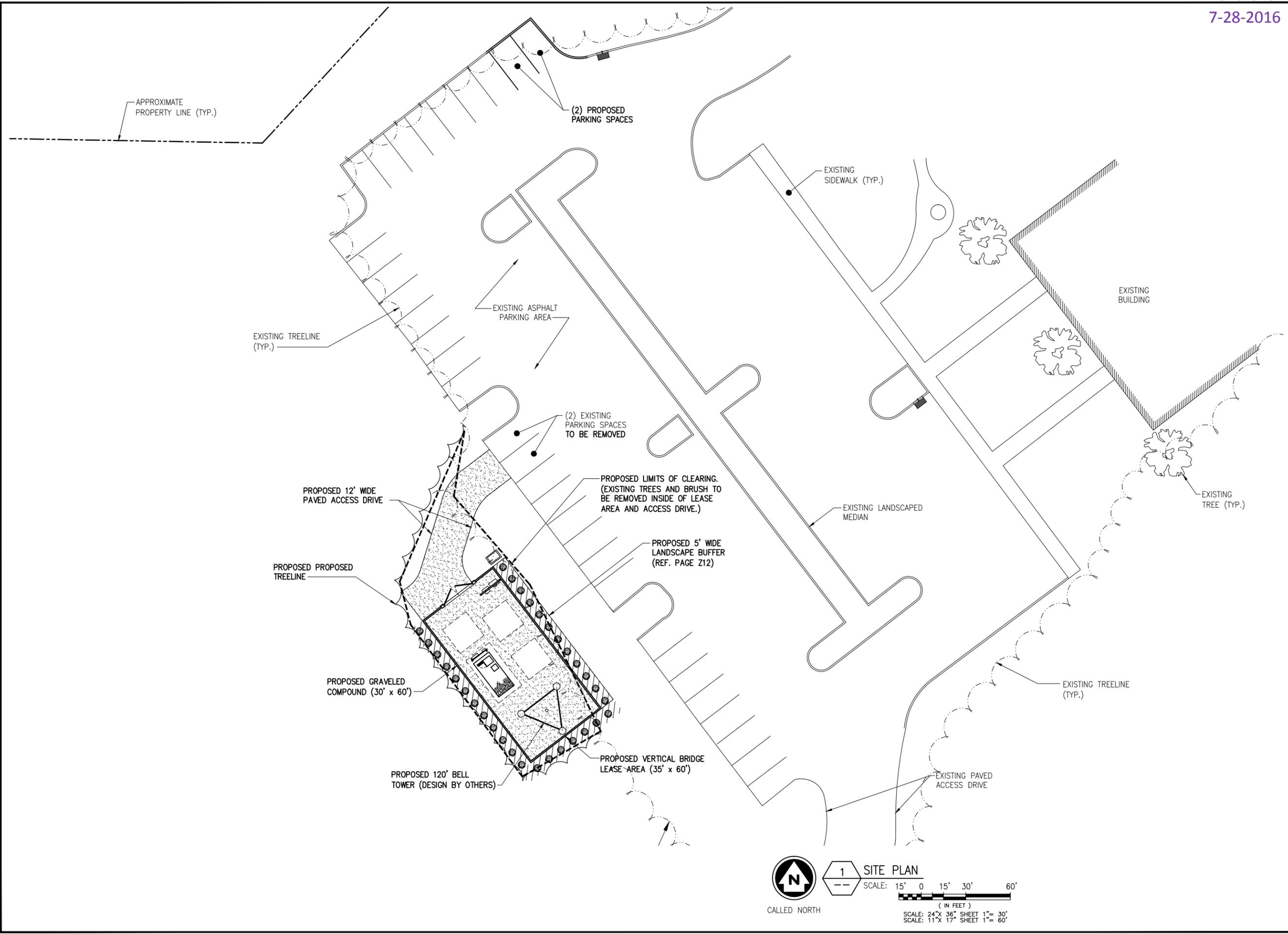
Engineer Stamp

Drawing Title
SITE PLAN

Drawing Scale: AS NOTED
 Date: 05/16/16
ZD

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Drawing Number
Z2



1 SITE PLAN
 SCALE: 15' 0" 15' 30' 60'
 (IN FEET)
 SCALE: 24" X 36" SHEET 1" = 30'
 SCALE: 11" X 17" SHEET 1" = 60'

2	ISSUED FOR REVIEW	CJW	07/26/16
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Designed: M.J. Date: 05/16/16
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Project Number 404-026

Project Title
**US-NC-5027
LUTHERAN
CHURCH**
300 PINEVILLE MATTHEWS RD
MATTHEWS, NC 28105

Engineer Stamp

Drawing Title
**COMPOUND PLAN &
TOWER ELEVATION**

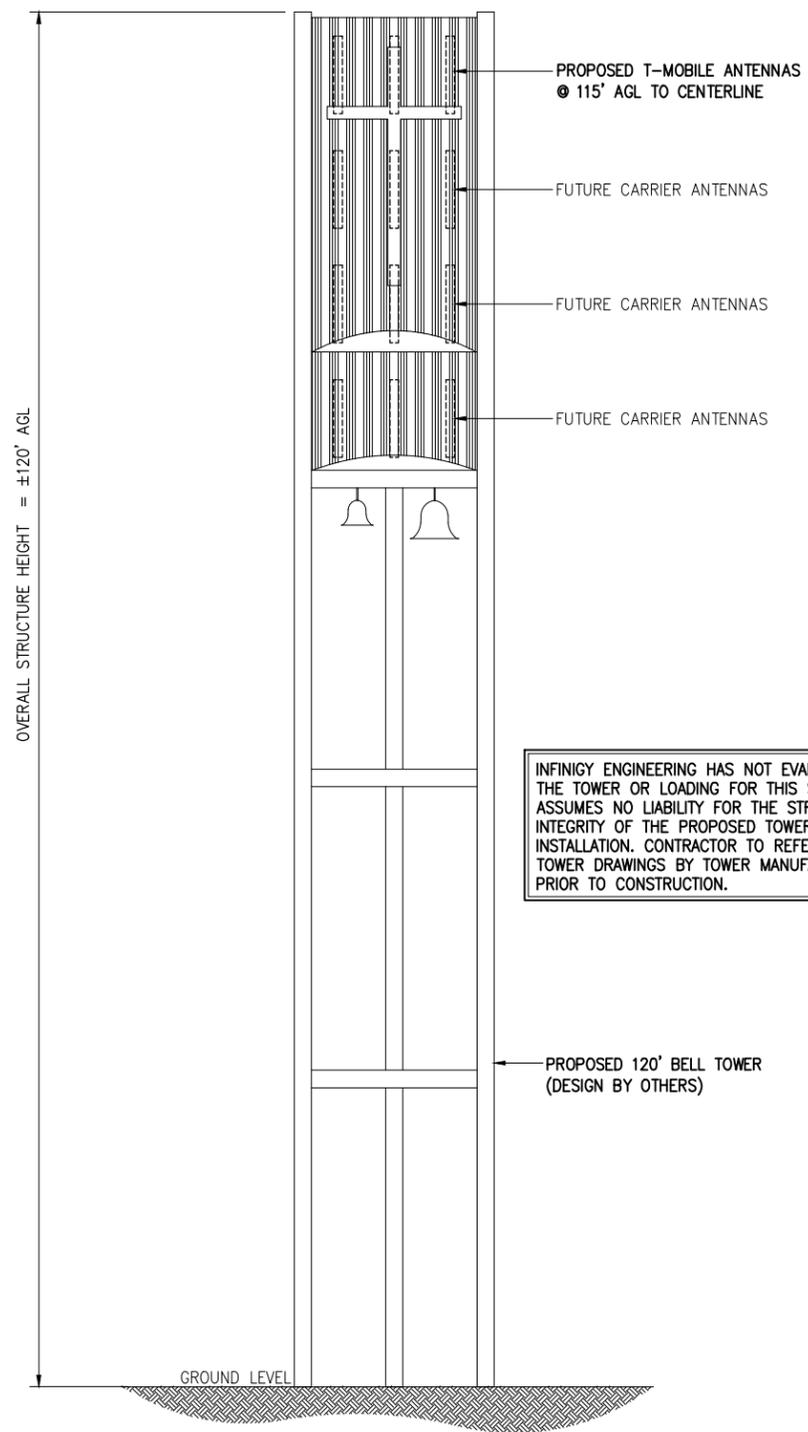
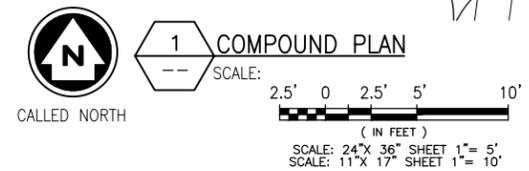
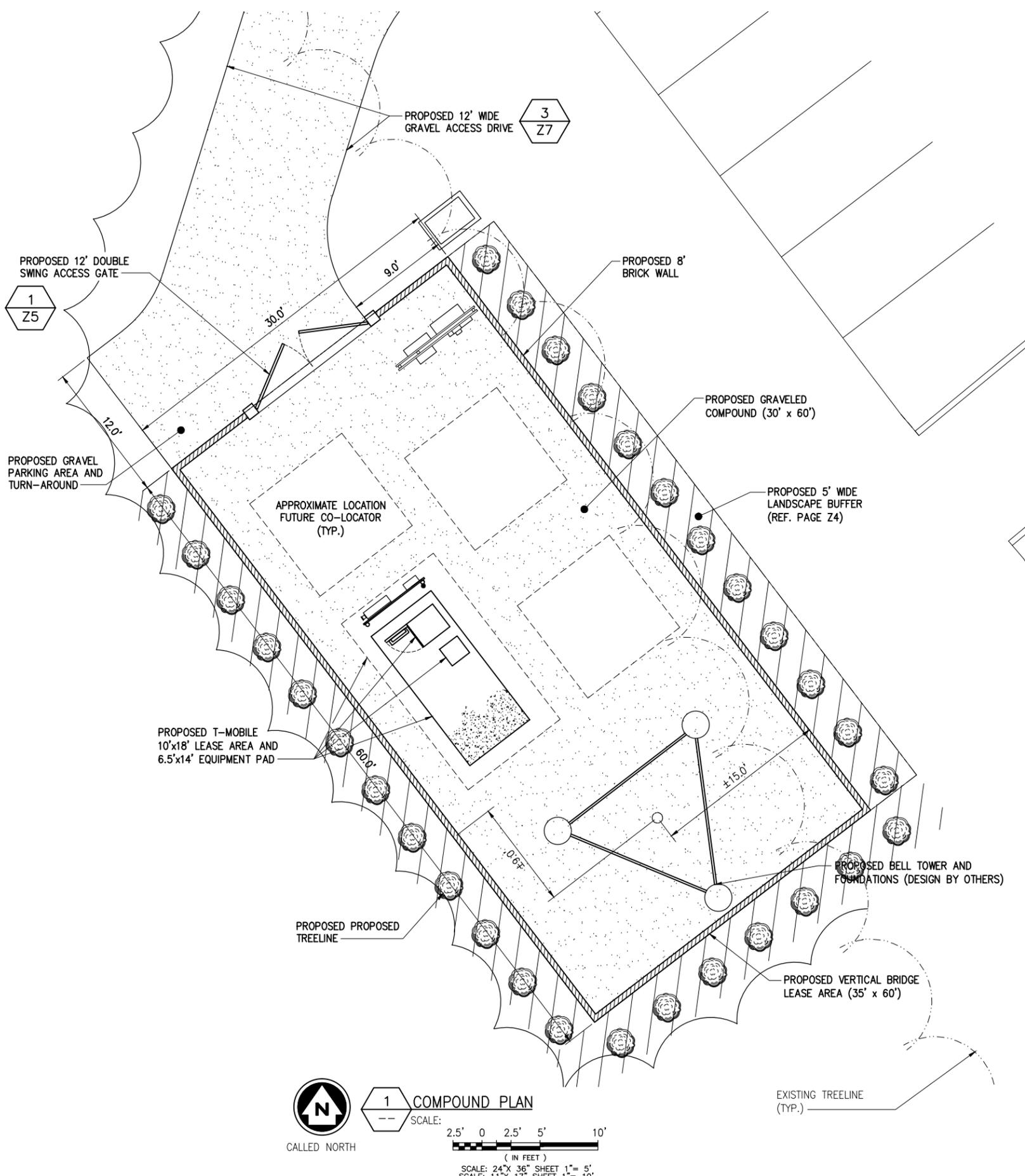
Drawing Scale:
AS NOTED
Date:
05/16/16
ZD

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Drawing Number

Z3

NOTE:
TOWER HEIGHT INCREASED
FROM 80' TO 120'.



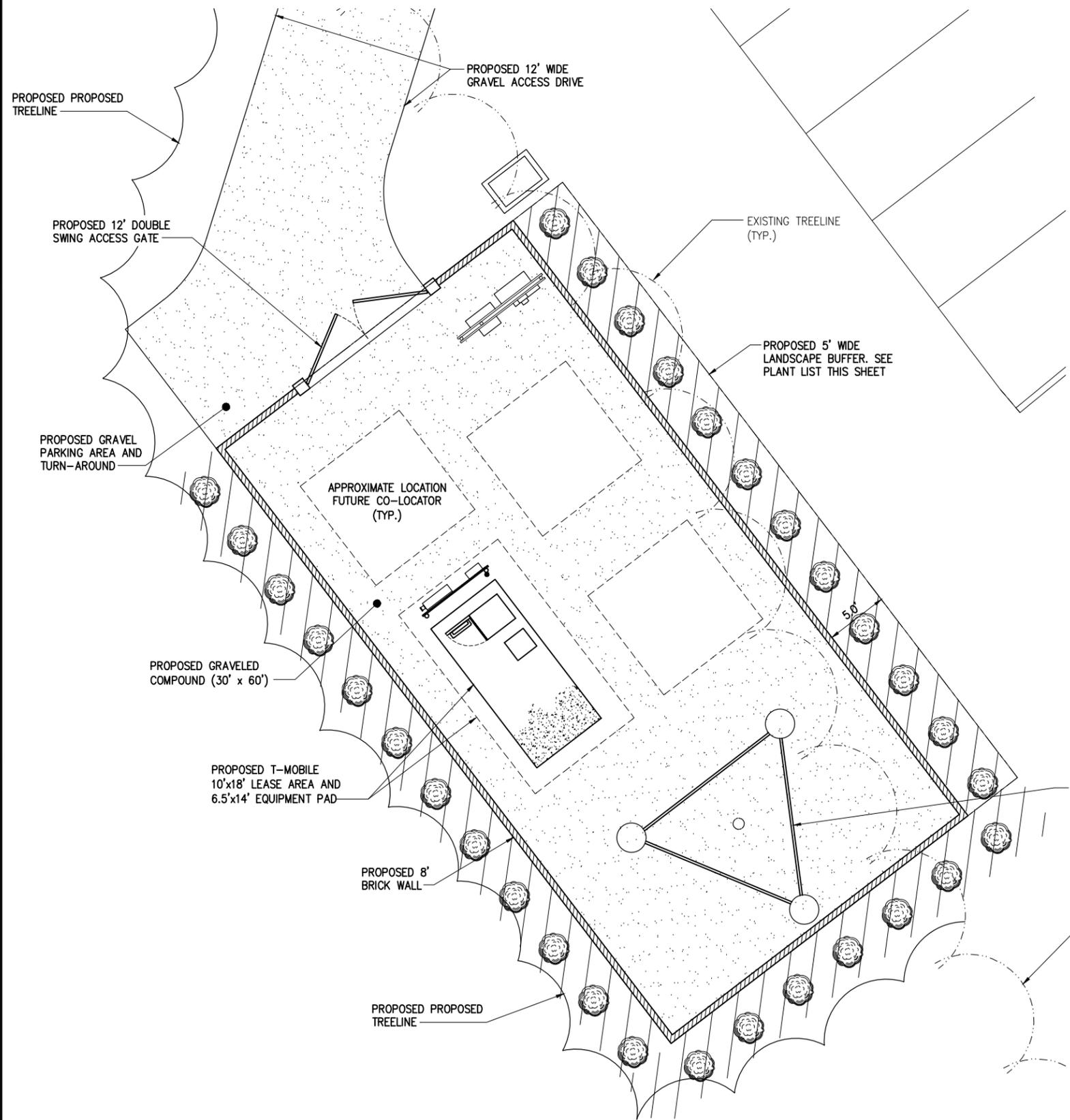
INFINIGY ENGINEERING HAS NOT EVALUATED THE TOWER OR LOADING FOR THIS SITE AND ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE PROPOSED TOWER INSTALLATION. CONTRACTOR TO REFER TO TOWER DRAWINGS BY TOWER MANUFACTURER PRIOR TO CONSTRUCTION.

3 TOWER ELEVATION
NOT TO SCALE

2016-646
7-28-2016



INFINIGY
FROM ZERO TO INFINIGY
the solutions are endless
2255 SEWELL MILL ROAD, SUITE 130
MARIETTA, GA 30062
Office # (678) 444-4463



PLANT LIST				
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL	MIN. TREE SIZE
	31	BURFORD HOLLY	Ilex cornuta 'Burfordii'	72"

No.	Submittal / Revision	App'd	Date
2	ISSUED FOR REVIEW	CJW	07/26/16
1	ISSUED FOR REVIEW	CJW	06/01/16
0	ISSUED FOR REVIEW	CJW	05/16/16

Drawn: M.J. Date: 05/16/16
Designed: M.J. Date: 05/16/16
Checked: M.J. Date: 05/16/16

Project Number
404-026

Project Title
**US-NC-5027
LUTHERAN
CHURCH**
300 PINEVILLE MATTHEWS RD
MATTHEWS, NC 28105

Engineer Stamp

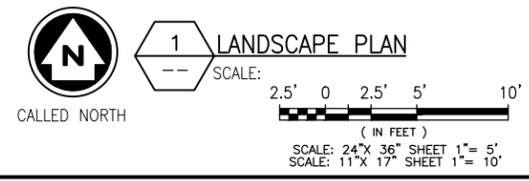
Drawing Title
**LANDSCAPE
PLAN**

Drawing Scale:
AS NOTED
Date:
05/16/16

ZD

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Drawing Number
Z4



PROJECT DESCRIPTION:

CONSTRUCTION OF TELECOMMUNICATIONS AND PUBLIC UTILITY FACILITY, CONSISTING OF A BELL TOWER, SPACE FOR CARRIER EQUIPMENT, AND A UTILITY BACKBOARD WITHIN A FENCED COMPOUND. NO WATER OR SEWER IS REQUIRED. THIS WILL BE AN UNMANNED FACILITY.

CODE COMPLIANCE:

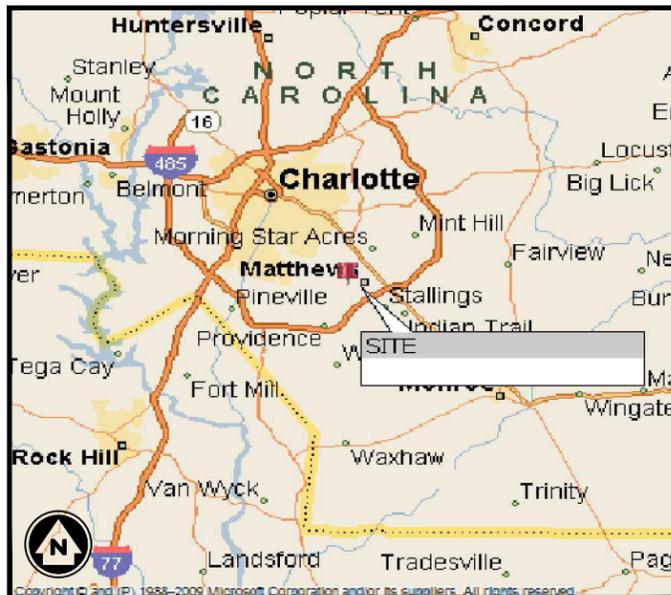
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- | | |
|--|---|
| 1. 2009 INTERNATIONAL BUILDING CODE | 11. IEEE C2 NATIONAL ELECTRIC SAFETY CODE, LATEST EDITION |
| 2. 2014 NATIONAL ELECTRIC CODE | 12. TELECORDIA GR-1275 |
| 3. 2009 NFPA101 LIFE SAFETY CODE | 13. ANSI/T 311 |
| 4. 2009 IFC | 14. UNIFORM MECHANICAL CODE |
| 5. AMERICAN CONCRETE INSTITUTE | 15. UNIFORM PLUMBING CODE |
| 6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION | 16. LOCAL BUILDING CODE |
| 7. MANUAL OF STEEL CONSTRUCTION, 13TH EDITION | 17. CITY/COUNTY ORDINANCES |
| 8. ANSI/TIA/EIA-222-G | 18. STATE BUILDING CODE |
| 9. TIA 607 | |
| 10. INSTITUTE FOR ELECTRICAL & ELECTRONICS ENGINEER 81 | |



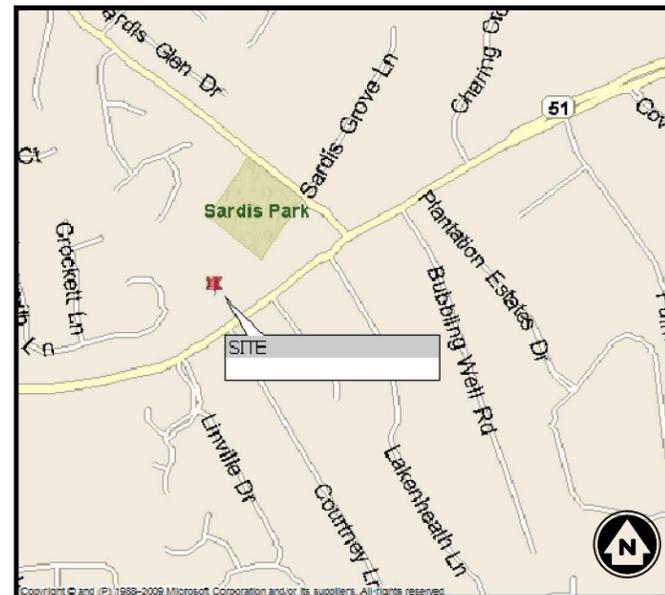
**US-NC-5027
LUTHERAN CHURCH
300 PINEVILLE MATTHEWS ROAD
MATTHEWS, NC 28105
120' BELL TOWER**

APPROVAL BLOCK				
		APPROVED	APPROVED AS NOTED	DISAPPROVED/REVISE
VERTICAL BRIDGE	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONSTRUCTION MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PERMITTING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEERING	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



VICINITY MAP
N.T.S.

DRAWING INDEX			
DRWG. #	TITLE	REV.#	DATE
T1	TITLE SHEET	1	06/01/16
S1	SURVEY (BY OTHERS)	-	04/28/16
Z1	GENERAL NOTES & LEGEND	1	06/01/16
Z2	GENERAL NOTES	1	06/01/16
Z3	OVERALL SITE PLAN	1	06/01/16
Z3A	SITE PLAN	1	06/01/16
Z4	COMPOUND PLAN & TOWER ELEVATION	1	06/01/16
Z5	WALL DETAILS	1	06/01/16
Z6	DETAILS	1	06/01/16
Z7	DETAILS	1	06/01/16
Z8	DRAINAGE, GRADING & EROSION CONTROL PLAN	1	06/01/16
Z9	DRAINAGE, GRADING & EROSION CONTROL NOTES & DETAILS	1	06/01/16
Z10	TYPICAL SITE SIGNAGE	1	06/01/16
Z11	LANDSCAPE PLAN	1	06/01/16
Z12	LANDSCAPE DETAILS	1	06/01/16

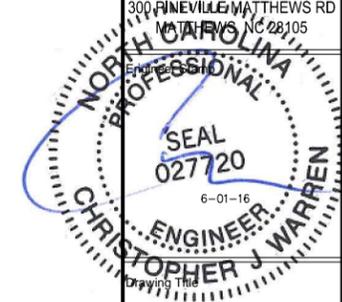


LOCATION MAP
N.T.S.

PROJECT INFORMATION	
SITE NAME:	LUTHERAN CHURCH
SITE NUMBER:	US-NC-5027
SITE ADDRESS:	300 PINEVILLE MATTHEWS ROAD MATTHEWS, NC 28105
TAX PIN #:	-
DEED REFERENCE:	DEED BOOK 5965, PAGE 525
PARCEL I.D. #:	21329104
ZONING CLASSIFICATION:	R/1 (CD)
ZONING JURISDICTION:	CITY OF MATTHEWS
GROUND ELEVATION:	702.10' A.M.S.L.
STRUCTURE TYPE:	STEALTH (BELL TOWER)
CONSTRUCTION AREA:	±3,000 SQ. FT.
LEASE AREA:	1,200 SQ. FT.
LATITUDE (NAD 83):	35° 06' 59.74" N
LONGITUDE:	80° 44' 36.31" W

DIG ALERT:
CALL FOR UNDERGROUND UTILITIES PRIOR TO DIGGING:
811
EMERGENCY:
CALL 911

PROJECT DIRECTORY	
PROPERTY OWNER:	CROSS & CROWN LUTHERAN CHURCH 300 PINEVILLE MATTHEWS ROAD MATTHEWS, NC 28105
APPLICANT:	VERTICAL BRIDGE 750 PARK OF COMMERCE DRIVE, SUITE 200 BOCA RATON, FL 33487
CONTACT:	CAROLYN GOULD PHONE: (770) 331-8376
ENGINEER:	INFINIGY 2255 SEWELL MILL ROAD SUITE 130 MARIETTA, GA 30062
CONTACT:	PETER RYNER PHONE: (678) 444-4463
POWER COMPANY:	DUKE ENERGY - (800) 777-9898
TELCO COMPANY:	WINDSTREAM - (336) 924-5101



TITLE SHEET

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T1

2016-646
6-1-2016

SUPERCEDED

INFINIGY
FROM ZERO TO INFINIGY
the solutions are endless
2255 SEWELL MILL ROAD, SUITE 130
MARIETTA, GA 30062
Office # (678) 444-4463

GENERAL PROJECT NOTES

1. THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT ON A ONE TIME BASIS.
2. THE CONTRACTOR SHALL TOPSOIL AND SEED ALL DISTURBED AREAS.
3. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN; AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL 811.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
5. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
6. THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE ENGINEER.
7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
9. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF THE STATE LICENSED LAND SURVEYOR.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
11. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE JURISDICTIONS STATE CODE AND OSHA REGULATIONS FOR CONSTRUCTION.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
13. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE ENGINEER AND THE UTILITY OWNER. NOTIFY THE ENGINEER AND THE UTILITY OWNER 24 HOURS BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
14. MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
15. ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
16. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE COMPOUND AND THE TOWER.
17. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS-BUILT PLANS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES, AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADMISSIONS TO THE SATISFACTION OF THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED. AS-BUILTS SHALL INCLUDE ALL POWER, TELEPHONE, GROUNDING, ETC.
18. TOWER FOOTING DIMENSIONS SHALL BE VERIFIED WITH THE TOWER MANUFACTURER AND THE TOWER PLANS.

2. EXCAVATIONS/FOUNDATION
 - A. FOUNDATION EXCAVATION SHALL BE HAND-TRIMMED TO REMOVE LOOSE MATERIALS.
 - B. EXTERIOR FOUNDATION BACKFILL SHALL BE SELECTED GRANULAR FILL.
 - C. ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS-ON-GRADE AND FOOTINGS SHALL BE "SW" OR BETTER PER ASTM D-2487 COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY PER ASTM D 698.
 - D. DO NOT PLACE FOOTINGS IN WATER OR ON FROZEN GROUND.
 - E. SOIL BEARING SURFACES, PREVIOUSLY ACCEPTED BY GEOTECHNICAL ENGINEER, WHICH ARE ALLOWED TO BECOME SATURATED, FROZEN OR DISTURBED SHALL BE REWORKED TO SATISFACTION OF GEOTECHNICAL ENGINEER.
 - F. DO NOT ALLOW GROUND BENEATH FOOTINGS TO FREEZE.
 - G. FOOTING EXCAVATIONS SHALL BE CUT NEAT.
3. CONCRETE
 - A. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE";
 - B. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
 - C. CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (±1.5%) WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED.
 - D. MAXIMUM AGGREGATE SIZE SHALL BE 1".
 - E. THE FOLLOWING MATERIALS SHALL BE USED:

PORTLAND CEMENT:	ASTM C 150, TYPE I
REINFORCEMENT:	ASTM A 615, GRADE 60
NORMAL WEIGHT AGGREGATE:	ASTM C 33
WATER:	DRINKABLE
ADMIXTURES:	NON-CHLORIDE CONTAINING
 - F. REINFORCING SHALL CONFORM TO ASTM A-615 WITH SUPPLEMENT. MINIMUM YIELD STRENGTH $F_y = 60$ KSI. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
 - G. CONCRETE COVER AROUND REINFORCING BARS (U.N.O.) SHALL BE:
 1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED EARTH.....3"
 2. CONCRETE EXPOSED TO EARTH, WEATHER.....2"
 3. SLABS.....3/4"
 4. ALL OTHER CONCRETE.....1 1/2"
 - H. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.

5. STRUCTURAL STEEL NOTES
 - A. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
 - B. STEEL ANGLES, BASE PLATES, BEARING PLATES AND MISC. FABRICATION SHALL BE MADE FROM STEEL MEETING THE REQUIREMENTS OF ASTM-A36 WITH A MINIMUM YIELD STRESS OF 36 KSI. ALL STEEL TUBES AND PIPES SHALL BE A500 STEEL MINIMUM.
 - C. ALL DINGS, SCRAPES, MARS, AND WELDS IN THE FINISHED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
 - D. ALL EXTERIOR STRUCTURAL STEEL SHALL BE, WHEN DELIVERED, HOT-DIP GALVANIZED ACCORDING TO ASTM A123. TOUCH-UP FIELD WELDS AND ABRADED AREAS W/2 COATS OF GALVANIZED PAINT, ZRC COLD GALVANIZING COMPOUND OR APPROVED EQUAL.
 - E. DO NOT PLACE HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
 - F. CONNECTIONS:
 1. BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
 2. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
 - G. SAFETY NOTES:
 1. THE CONTRACTOR WILL ADHERE TO ALL SAFETY REGULATIONS, LOCAL, STATE AND FEDERAL.
 2. THE CONTRACTOR WILL CONDUCT DAILY SAFETY TAILGATE MEETINGS IN ADDITION TO WEEKLY SAFETY MEETINGS. THESE REPORTS WILL BE MADE AVAILABLE TO THE OWNER UPON REQUEST.
 3. ALL WORKERS & VISITORS TO THE SITE SHALL WEAR HARD HATS & ANY OTHER SAFETY EQUIPMENT REQUIRED BY THE WORK BEING PERFORMED ON THE SITE.

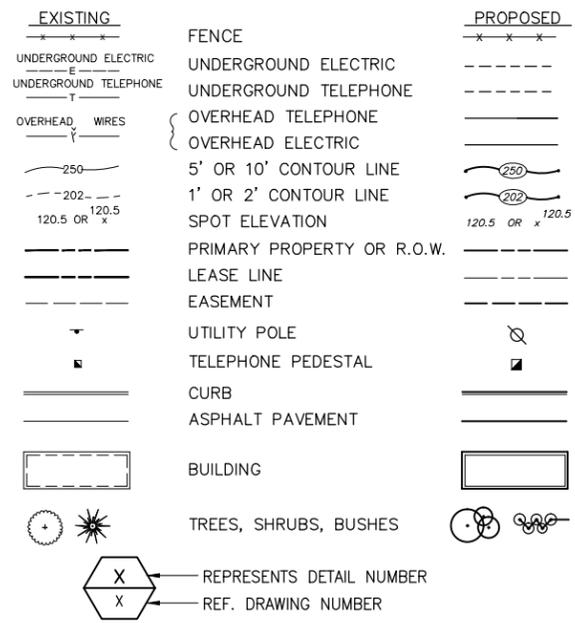
GENERAL CONSTRUCTION NOTES CONT.

- I. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309.
- J. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- K. DO NOT WELD OR TACKWELD REINFORCING STEEL.
- L. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, PIPING, WATERSTOPS, INSERTS, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- M. LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT.
- N. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- O. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- P. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- Q. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- R. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.
- S. PROVIDE A STEEL TROWEL FINISH TO THE SLAB.
4. ANTENNA SUPPORT BRACKET NOTES (IF APPLICABLE)
 - A. DESIGN RESPONSIBILITY OF ANTENNA MOUNTING BRACKETS AND POLES AND ALL COMPONENTS THERE OF AND ATTACHMENT THERE TO SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. MFR SHALL PROVIDE TO THE ENGINEER FOR APPROVAL, DRAWINGS DETAILING ALL COMPONENTS OF THE ASSEMBLY, INCLUDING CONNECTIONS, DESIGN LOADS, AND ALL OTHER PERTINENT DATA.
 - B. BRACKETS SHALL BE DESIGNED TO SUPPORT CURRENT AND FUTURE PANEL ANTENNAS AND COAXIAL CABLES AS SHOWN.

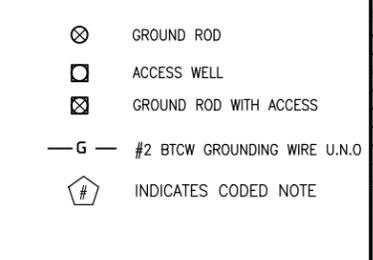
GENERAL CONSTRUCTION NOTES

1. GENERAL
 - A. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
 - B. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE UNDERGROUND UTILITIES.
 - C. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL.
 - D. EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
 - E. PAINT ALL ANTENNAS, MOUNTING HARDWARE, CABLES, CABLE TRAYS, ETC. TO MATCH EXISTING STRUCTURE PER OWNER REQUIREMENTS. OWNER SHALL APPROVE COLOR.
 - F. ALL DAMAGED, MARRED, SCRAPED, ABRADED, ETC. AREAS OF EXISTING PAINT SHALL BE REPAIRED PER OWNERS REQUIREMENTS. OWNER SHALL APPROVE COLOR.

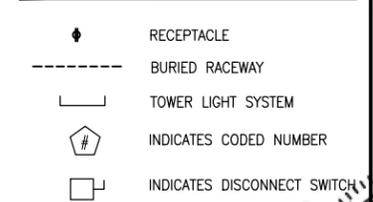
CIVIL LEGEND



GROUNDING SYMBOLS



ELECTRICAL SYMBOLS



ABBREVIATIONS

CIGBE	COAX ISOLATED GROUND BAR EXTERNAL
MIGB	MASTER ISOLATED GROUND BAR
SST	SELF SUPPORTING TOWER
GPS	GLOBAL POSITIONING SYSTEM
TYP.	TYPICAL
DWG	DRAWING
BCW	BARE COPPER WIRE
BFG	BELOW FINISH GRADE
W/	WITH
PVC	POLYVINYL CHLORIDE
CAB	CABINET
C	CONDUIT
SS	STAINLESS STEEL
G	GROUND
AWG	AMERICAN WIRE GAUGE
RGS	RIGID GALVANIZED STEEL
AHJ	AUTHORITY HAVING JURISDICTION
TTLNA	TOWER TOP LOW NOISE AMPLIFIER
UNO	UNLESS NOTED OTHERWISE
EMT	ELECTRICAL METALLIC TUBING

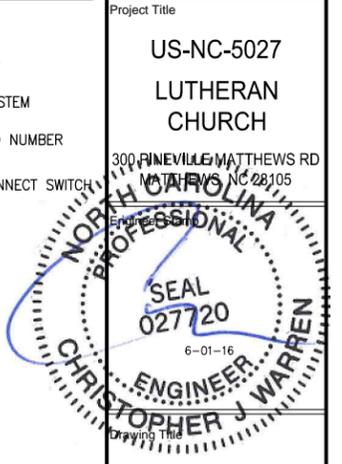
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MARIETTA, GA 30062
Office # (678) 444-4463

1	ISSUED FOR REVIEW	CJW	06/01/16
0	ISSUED FOR REVIEW	CJW	05/16/16
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Drawn:	MJL	Date:	05/16/16
Designed:	MJL	Date:	05/16/16
Checked:	MJL	Date:	05/16/16
Project Number	404-026		
Project Title	US-NC-5027 LUTHERAN CHURCH		



GENERAL NOTES & LEGEND

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Date:	05/16/16
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SUPERCEDED

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANY OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
8. TRANSMITTER EQUIPMENT AND ANTENNAS ARE DESIGNED TO MEET ANSI/EIA/TIA 222-G REQUIREMENTS.
9. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
10. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
11. IF ANY UNDERGROUND UTILITIES OR STRUCTURES EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE THEM AND CONTACT THE APPLICANT AND OWNER'S REPRESENTATIVE.
12. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION BY TECHNICIANS APPROXIMATELY TWICE A MONTH.
13. PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT OR MODIFICATION TO THE EXISTING STRUCTURE, A STRUCTURAL ANALYSIS SHALL BE PERFORMED BY THE OWNER'S AGENT TO CERTIFY THAT THE EXISTING/PROPOSED COMMUNICATION STRUCTURE AND COMPONENTS ARE STRUCTURALLY ADEQUATE TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, COAXIAL CABLES AND OTHER APPURTENANCES.
14. PROPERTY LINE INFORMATION WAS PREPARED USING DEEDS, TAX MAPS AND PLANS OF RECORD AND SHOULD NOT BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY.
15. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
16. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORM WATER RUNOFF, THEREFORE NO DRAINAGE STRUCTURES ARE PROPOSED.
17. NO SIGNIFICANT NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY.
18. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
19. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
20. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.



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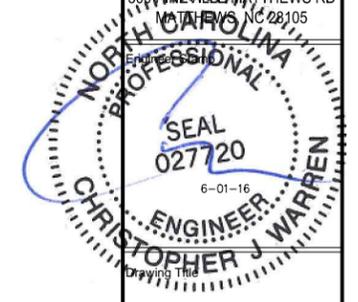
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Project Number 404-026

Project Title
**US-NC-5027
LUTHERAN
CHURCH**

300 FINEVILLE MATTHEWS RD
MATHIAS, NC 28105



GENERAL NOTES

Drawing Scale: AS NOTED
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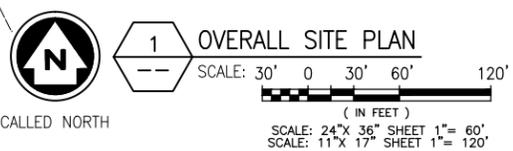
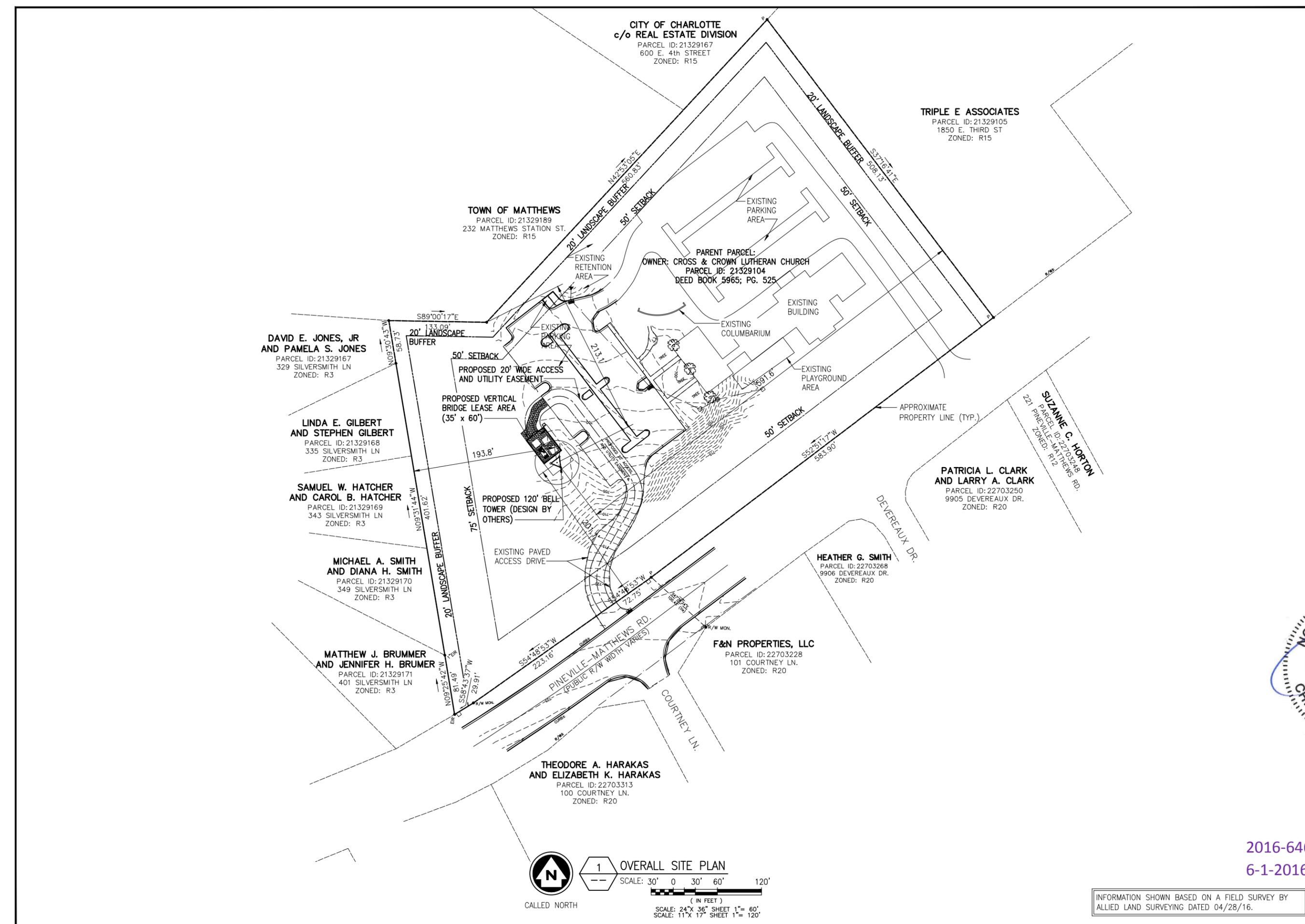
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Drawing Number

Z2

2016-646
6-1-2016

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INFORMATION SHOWN BASED ON A FIELD SURVEY BY ALLIED LAND SURVEYING DATED 04/28/16.

verticalbridge

INFINIGY
FROM ZERO TO INFINIGY
the solutions are endless

2255 SEWELL MILL ROAD, SUITE 130
MARIETTA, GA 30062
Office # (678) 444-4463

1	ISSUED FOR REVIEW	CJW	06/01/16
0	ISSUED FOR REVIEW	CJW	05/16/16
No.	Submittal / Revision	App'd	Date

Drawn: M.J. Date: 05/16/16
Designed: M.J. Date: 05/16/16
Checked: M.J. Date: 05/16/16

Project Number: 404-026
Project Title: US-NC-5027 LUTHERAN CHURCH
300 PINEVILLE MATTHEWS RD MATTHEWS NC 28105

SEAL 027720
6-01-16
ENGINEER CHRISTOPHER J WARREN

OVERALL SITE PLAN

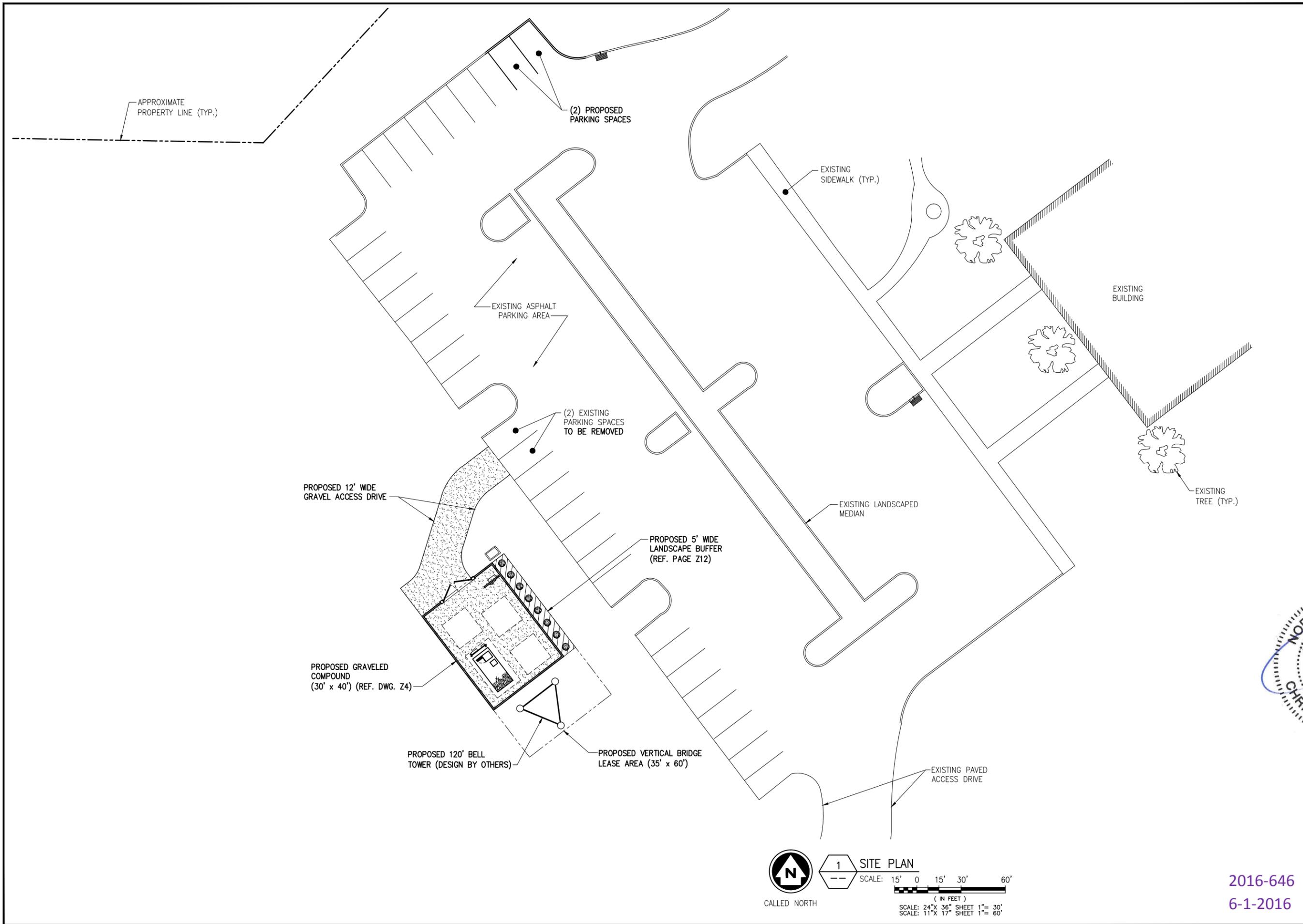
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Date: 05/16/16

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2016-646
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APPROXIMATE PROPERTY LINE (TYP.)

(2) PROPOSED PARKING SPACES

EXISTING SIDEWALK (TYP.)

EXISTING ASPHALT PARKING AREA

EXISTING BUILDING

(2) EXISTING PARKING SPACES TO BE REMOVED

PROPOSED 12' WIDE GRAVEL ACCESS DRIVE

EXISTING TREE (TYP.)

EXISTING LANDSCAPED MEDIAN

PROPOSED 5' WIDE LANDSCAPE BUFFER (REF. PAGE Z12)

PROPOSED GRAVELED COMPOUND (30' x 40') (REF. DWG. Z4)

PROPOSED 120' BELL TOWER (DESIGN BY OTHERS)

PROPOSED VERTICAL BRIDGE LEASE AREA (35' x 60')

EXISTING PAVED ACCESS DRIVE



1 SITE PLAN

SCALE: 15' 0 15' 30' 60'

(IN FEET)
SCALE: 24" X 36" SHEET 1" = 30'
SCALE: 11" X 17" SHEET 1" = 60'

2016-646
6-1-2016

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404-026

Project Title
**US-NC-5027
LUTHERAN
CHURCH**
300 FINEVILLE MATTHEWS RD
MARTIN, NC 28105

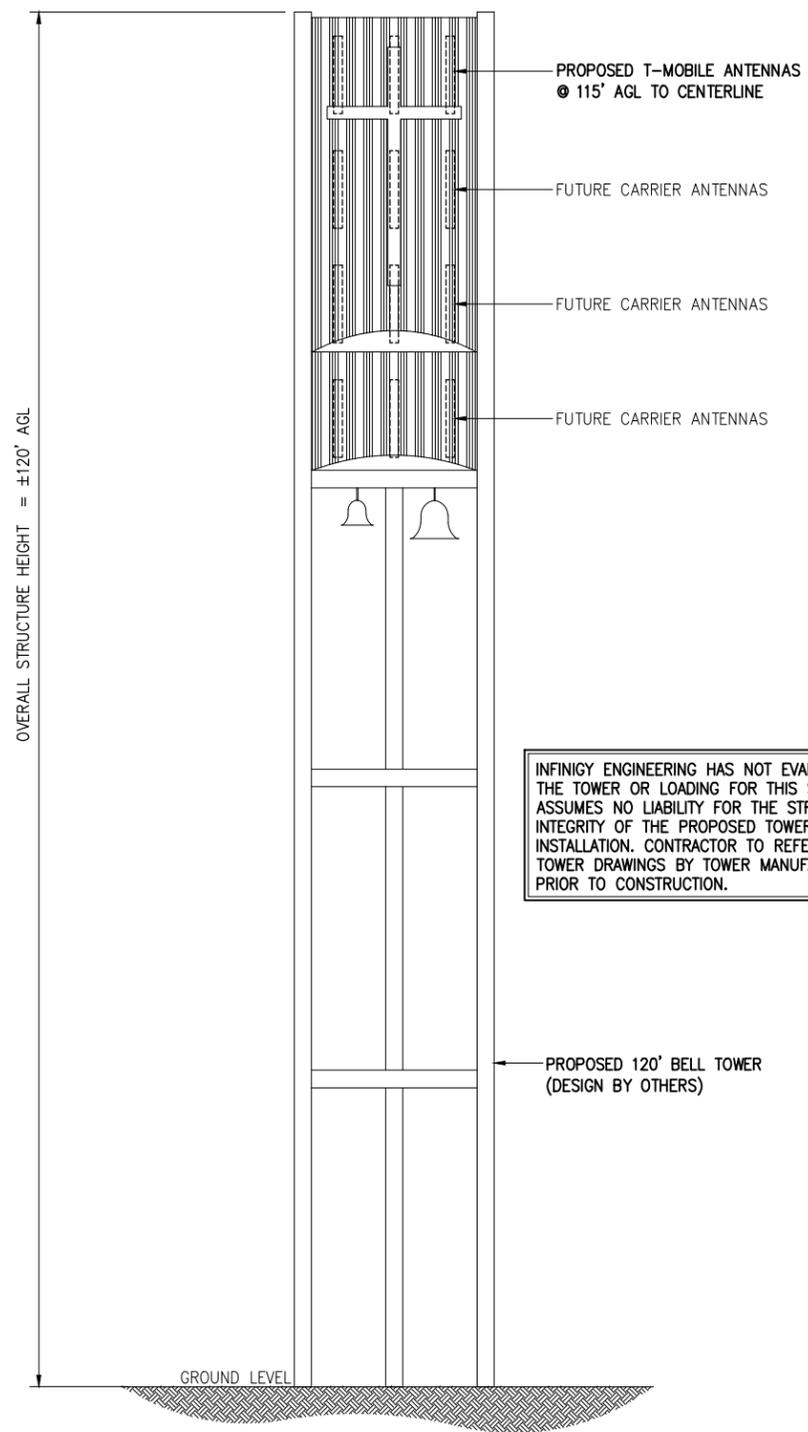
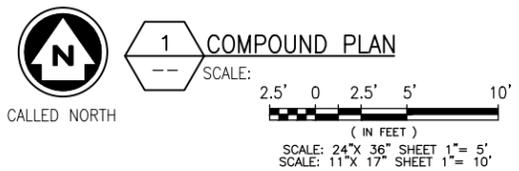
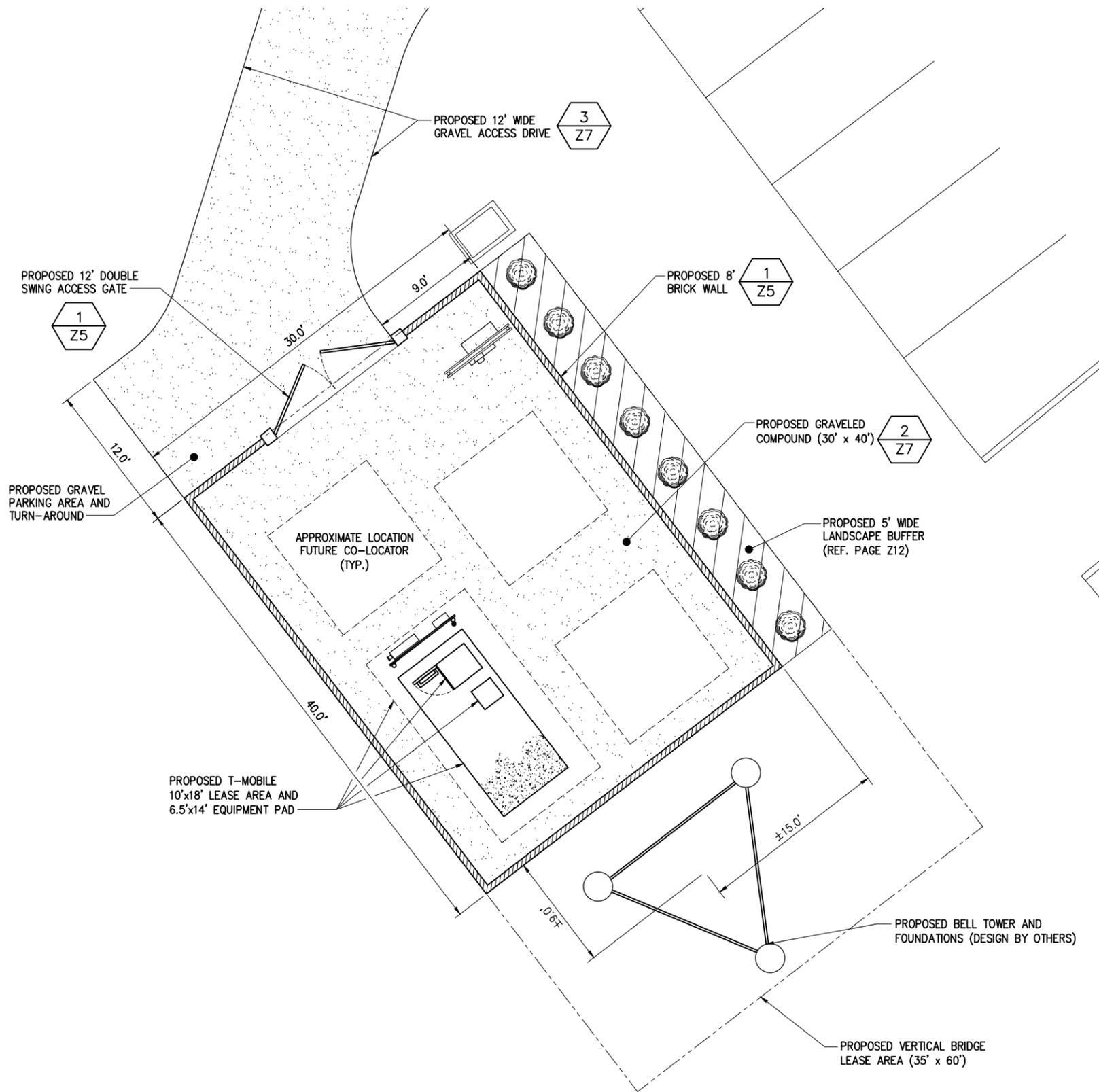


SITE PLAN

Drawing Scale:
AS NOTED
Date:
05/16/16
ZD

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Drawing Number
Z3A

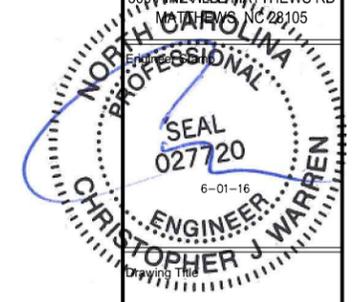


INFINIGY ENGINEERING HAS NOT EVALUATED THE TOWER OR LOADING FOR THIS SITE AND ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE PROPOSED TOWER INSTALLATION. CONTRACTOR TO REFER TO TOWER DRAWINGS BY TOWER MANUFACTURER PRIOR TO CONSTRUCTION.

1	ISSUED FOR REVIEW	CJW	06/01/16
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US-NC-5027
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COMPOUND PLAN & TOWER ELEVATION

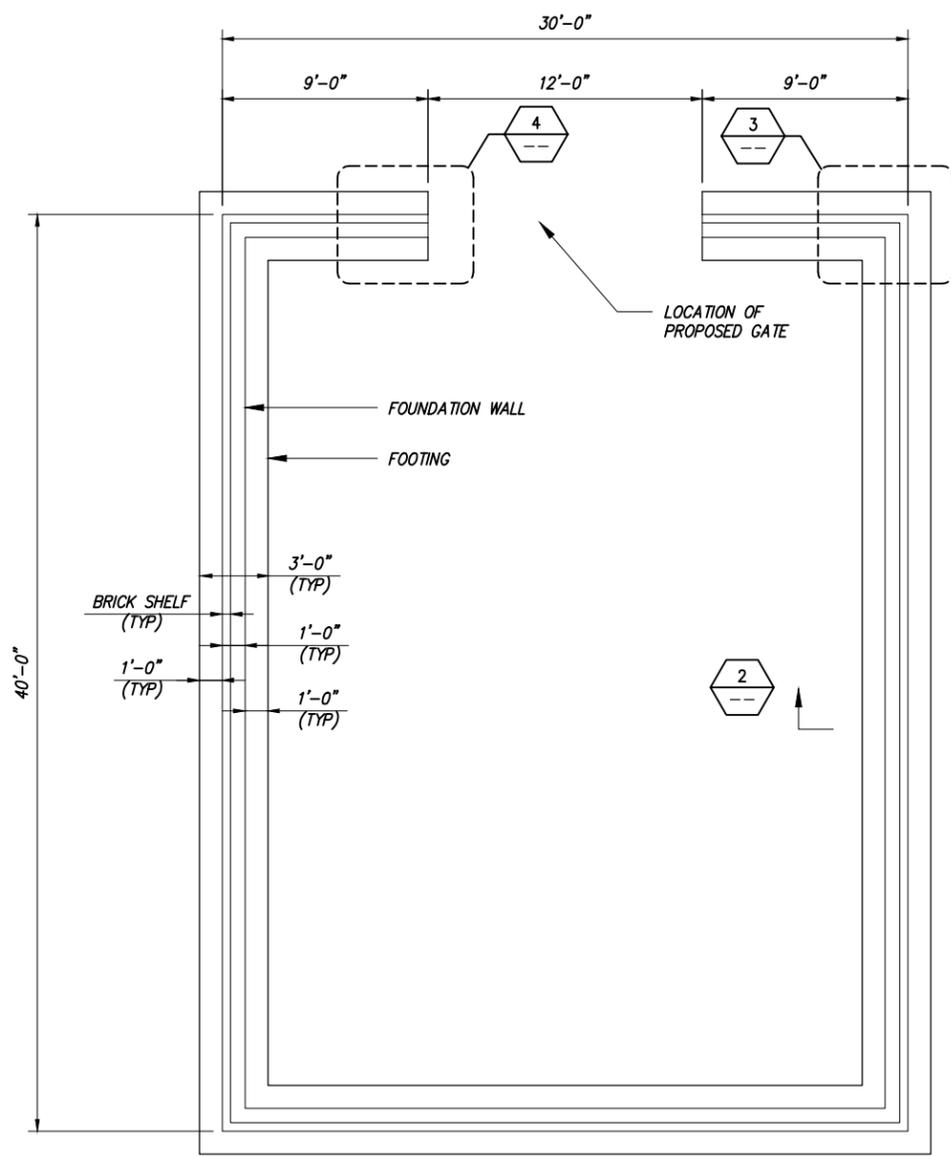
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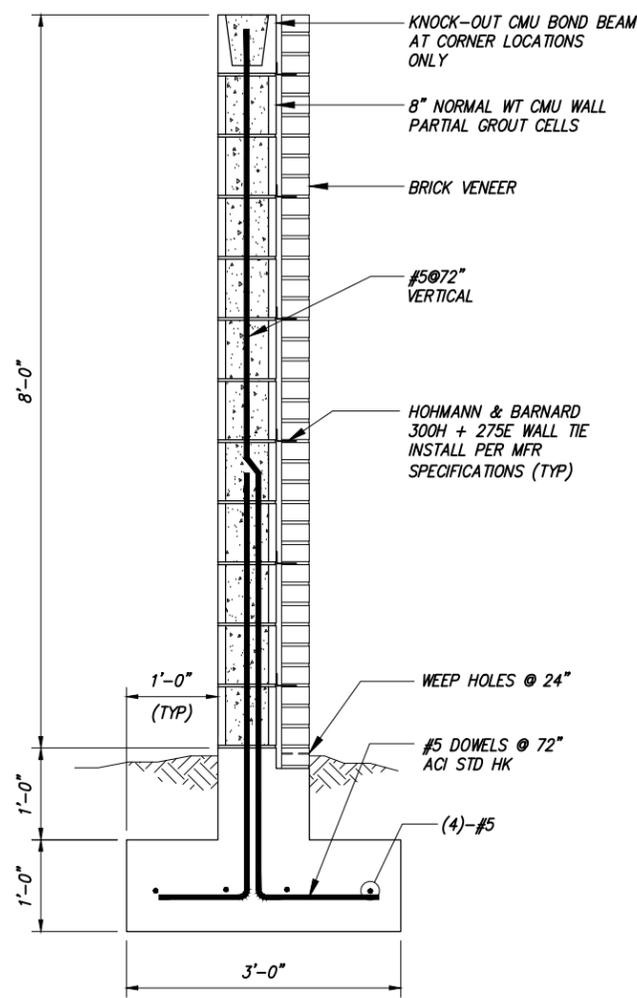
Drawing Number
Z4

3 TOWER ELEVATION 2016-646
NOT TO SCALE 6-1-2016

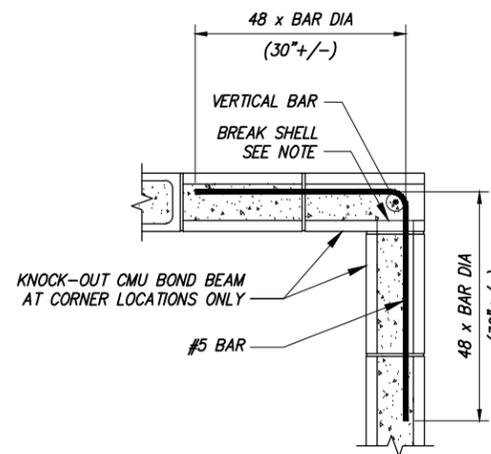
SUPERCEDED



1 FOUNDATION PLAN
NOT TO SCALE

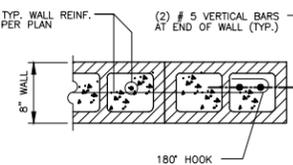


2 WALL SECTION
NOT TO SCALE

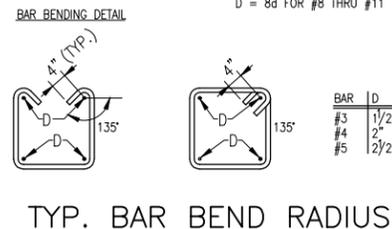
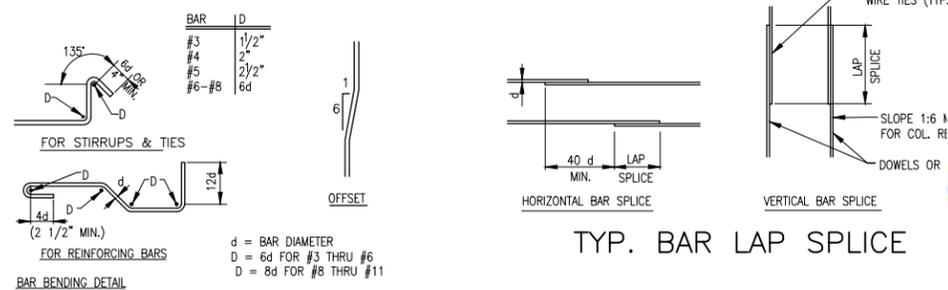


NOTE: BLOCK LAYOUT SHOWN IS DIAGRAMMATIC. ACTUAL CONDITION WILL VARY PER RUNNING BOND PATTERN, USE APPROPRIATE UNITS OR BREAK CMU SHELL AS REQUIRED FOR REINFORCING PLACEMENT AND FLOW OF GROUT.

3 CMU AT CORNER
NOT TO SCALE



4 CMU AT END
NOT TO SCALE



7 TYP. BAR BEND RADIUS

5 TYPICAL CMU DETAILS
NOT TO SCALE

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FROM ZERO TO INFINIGY
the solutions are endless

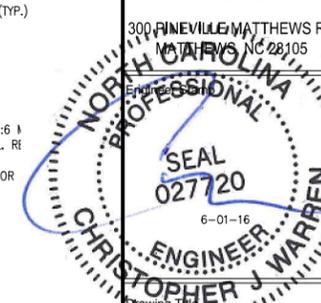
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Project Number: 404-026

Project Title: US-NC-5027 LUTHERAN CHURCH

300 FINEVILLE MATTHEWS RD
MARTIN, NC 28105

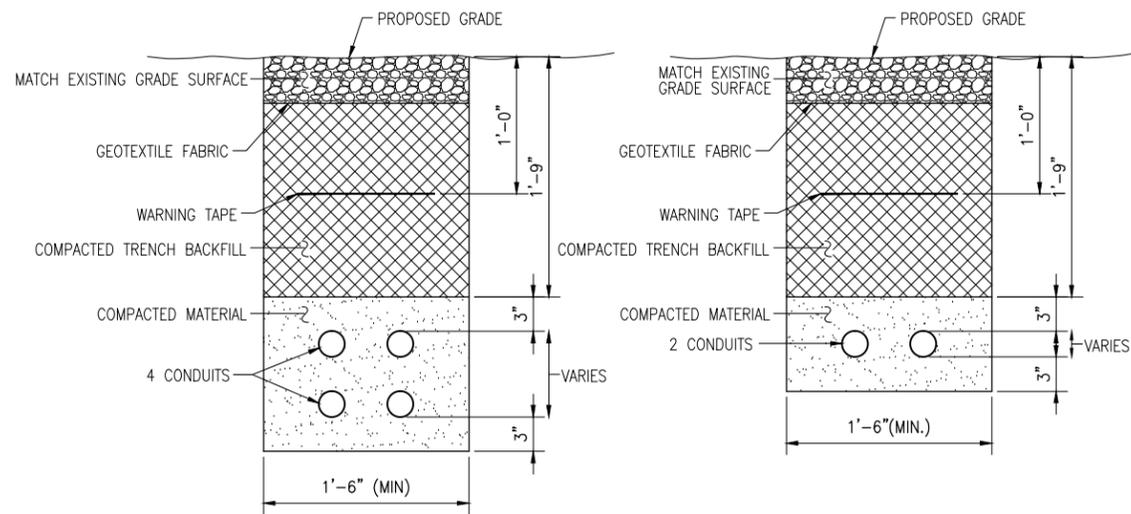


FENCE DETAILS

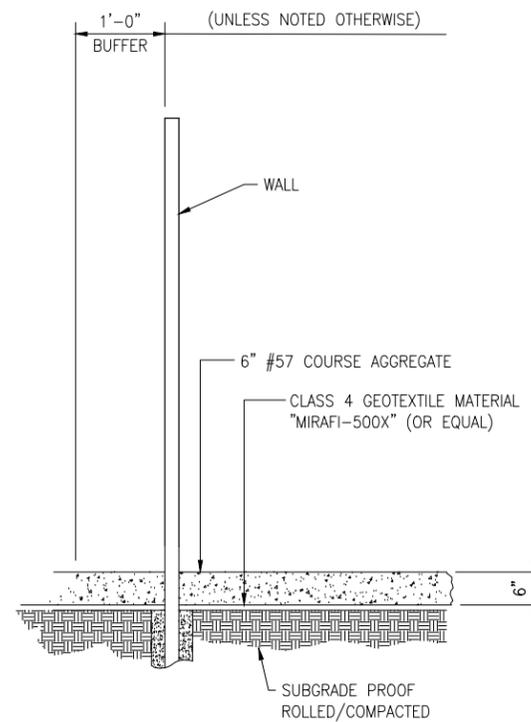
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Date: 05/16/16
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Drawing Number: **Z5**

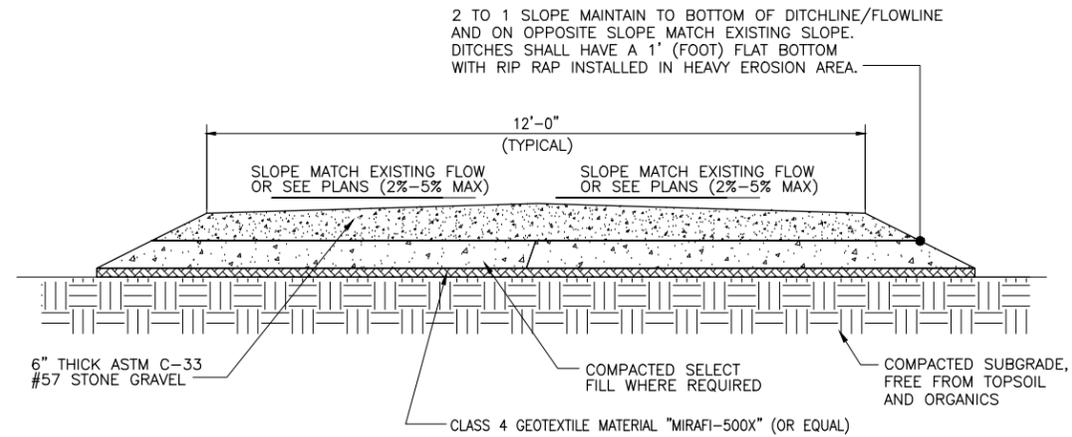
SUPERCEDED



1 ELECTRICAL / UTILITY COMMUNICATION TRENCH SECTIONS
 NOT TO SCALE



2 SITE COMPOUND SURFACING DETAIL
 NOT TO SCALE



- NOTES:**
- USE OF SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
 - AGGREGATE IS BASED ON STANDARD AASHTO.
 - 2" CROWN IN CENTER OF ACCESS, UNLESS IN CURVES, THEN ACCESS SHOULD BE SLOPED TO INSIDE OF TURN / CURVE
 - PIPE SHALL BE AT A MINIMUM OF 4' LONGER THEN ACCESS ROAD WIDTH ON EACH SIDE FOR PROPER SHOULDERING.
 - ALL CROSSDRAINS SHALL BE INSTALLED ON A 45° ANGLE WITH THE FALL OF THE GRADE.

3 DRIVEWAY SECTION (GRAVEL)
 NOT TO SCALE

- NOTES:**
- USE SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
 - AGGREGATE IS BASED ON STANDARD AASHTO.
 - COMPOUND SLOPE NOT TO EXCEED 5%
 - SUB-GRADE SHALL BE COMPACTED BY SHEEPS FOOT VIBRATOR OR RUBBER TIRE ROLLERS WEIGHING AT LEAST EIGHT TONS.
 - FINISHED GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEAST EIGHT TONS.

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 LUTHERAN CHURCH
 300 FINEVILLE MATTHEWS RD
 MATTHEWS, NC 28105



DETAILS

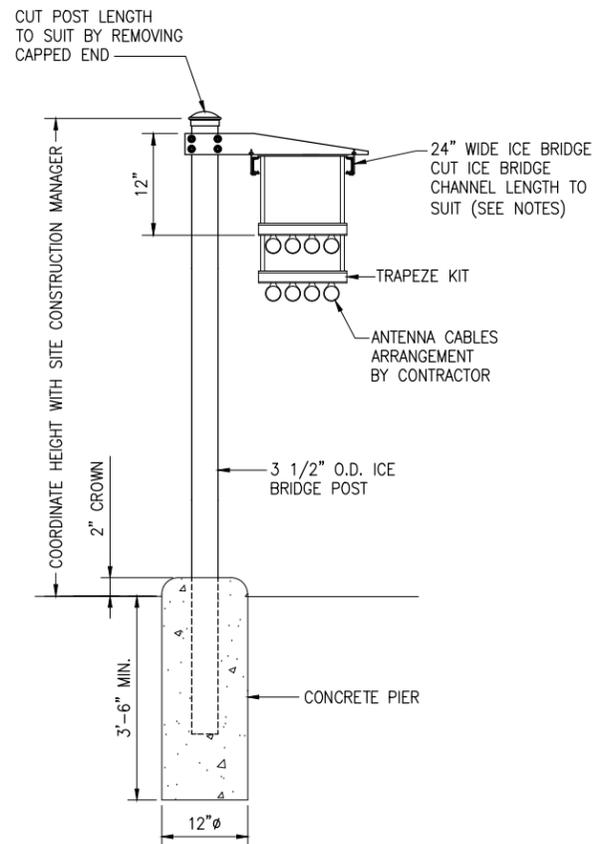
Drawing Scale: AS NOTED
 Drawing Number: ZD
 Date: 05/16/16

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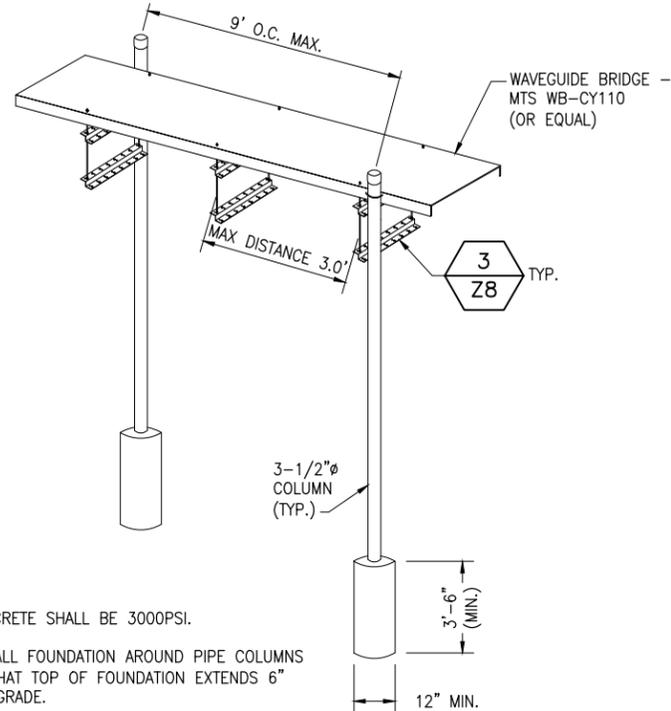
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2016-646
 6-1-2016

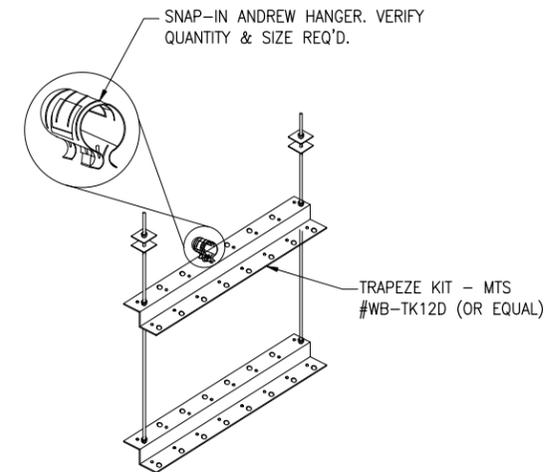
SUPERCEDED



1 ICE BRIDGE SUPPORT POST FOUNDATION
-- NOT TO SCALE



2 ICE BRIDGE DETAIL
-- NOT TO SCALE



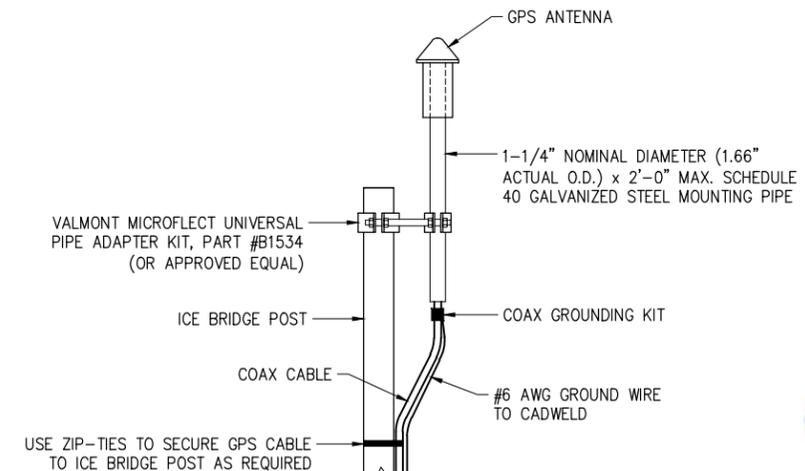
3 TRAPEZE KIT DETAIL
-- NOT TO SCALE

- NOTE:
1. CONCRETE SHALL BE 3000PSI.
 2. INSTALL FOUNDATION AROUND PIPE COLUMNS SUCH THAT TOP OF FOUNDATION EXTENDS 6" ABOVE GRADE.

PARTS LIST (PER 10' SECTION)		
ITEM	PART NO.	DESCRIPTION
1	MT-357-12	TRAPEZE KIT (NOTE 3)
2	MF-130	3-1/2" OD X 160" GALV PLAIN
3	PC-034	3-1/2" GALV PIPE CAP
4	HHD12-K	CANTILEVER W/HARDWARE
5	WB-CY110	SAFETY GRATED WAVEGUIDE BRIDGE 12" x 10'

NOTES:

1. WHEN USING COMPONENTS AS SHOWN IN STANDARD DETAILS, MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS ON A CONTINUOUS SINGLE SECTION OF BRIDGE CHANNEL SHALL BE 9 FEET FOR 10 FEET BRIDGE CHANNEL.
2. WHEN USING COMPONENTS FOR SPLICING BRIDGE CHANNEL SECTIONS, THE SPLICE SHOULD BE PROVIDED AT THE SUPPORT, IF POSSIBLE, OR AT A MAXIMUM OF 2 FEET FROM THE SUPPORT.
3. WHEN USING COMPONENTS, SUPPORT SHOULD BE PROVIDED AS CLOSE AS POSSIBLE TO THE ENDS OF ICE BRIDGES, WITH A MAXIMUM CANTILVER DISTANCE OF 2 FEET FROM THE SUPPORT TO THE FREE END OF THE ICE BRIDGE.
4. CUT BRIDGE CHANNEL SECTIONS SHALL HAVE RAW EDGES TREATED WITH A MATERIAL TO RESTORE THESE EDGES TO THE ORIGINAL CHANNEL, OR EQUIVALENT, FINISH.
5. ICE BRIDGES MAY BE CONSTRUCTED WITH COMPONENTS FROM OTHER MANUFACTURERS, PROVIDED THE MANUFACTURER'S INSTALLATION GUIDELINES ARE FOLLOWED.
6. DEVIATIONS FROM STANDARDS FOR COMPONENT INSTALLATIONS ARE PERMITTED WITH THE RESPECTIVE MANUFACTURER'S APPROVAL.
7. DEVIATIONS FROM ICE BRIDGE FOUNDATIONS REQUIRE ENGINEERING APPROVAL.
8. THE DESIGN IS BASED ON ASCE 7-98, 3 SECOND GUST WIND SPEED OF 110 MPH, EXPOSURE C, ELEVATION AT GRADE.



NOTES:

1. LOCATION OF ANTENNA MUST HAVE CLEAR VIEW OF SOUTHERN SKY AND CANNOT HAVE ANY BLOCKAGES EXCEEDING 25% OF THE SURFACE AREA OF A HEMISPHERE AROUND THE GPS ANTENNA.
2. ALL GPS ANTENNA LOCATIONS MUST BE ABLE TO RECEIVE CLEAR SIGNALS FROM A MINIMUM OF FOUR (4) SATELLITES. VERIFY WITH HANDHELD GPS BEFORE FINAL LOCATION OF GPS ANTENNA.

4 GPS MOUNTING DETAIL
-- NOT TO SCALE

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LUTHERAN CHURCH

300 FINEVILLE MATTHEWS RD
MARTIN, NC 28105



DETAILS

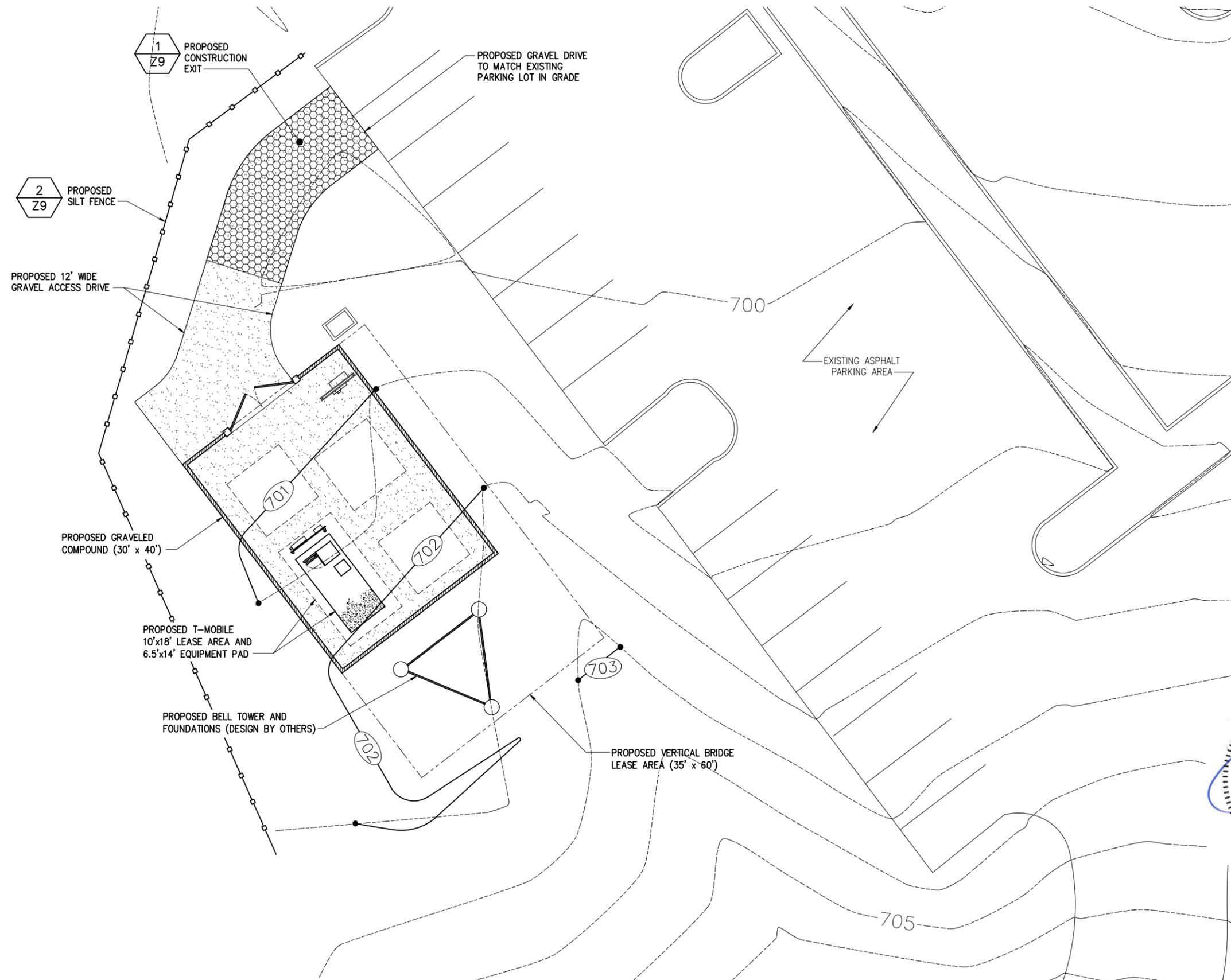
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Drawing Number: **Z7**

2016-646
6-1-2016

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1
Z9 PROPOSED CONSTRUCTION EXIT

2
Z9 PROPOSED SILT FENCE

PROPOSED 12' WIDE GRAVEL ACCESS DRIVE

PROPOSED GRAVELED COMPOUND (30' x 40')

PROPOSED T-MOBILE 10'x18' LEASE AREA AND 6.5'x14' EQUIPMENT PAD

PROPOSED BELL TOWER AND FOUNDATIONS (DESIGN BY OTHERS)

PROPOSED GRAVEL DRIVE TO MATCH EXISTING PARKING LOT IN GRADE

EXISTING ASPHALT PARKING AREA

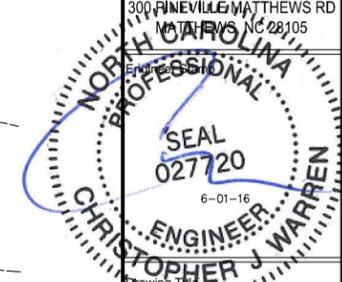
PROPOSED VERTICAL BRIDGE LEASE AREA (35' x 60')



1 GRADING, EROSION, & SEDIMENT CONTROL PLAN
 SCALE: 4' 0 4' 8' 16'
 (IN FEET)
 SCALE: 24" X 36" SHEET 1" = 8'
 SCALE: 11" X 17" SHEET 1" = 16'

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 300 FINEVILLE MATTHEWS RD
 FINEVILLE, NC 28105



DRAINAGE, GRADING & EROSION CONTROL PLAN

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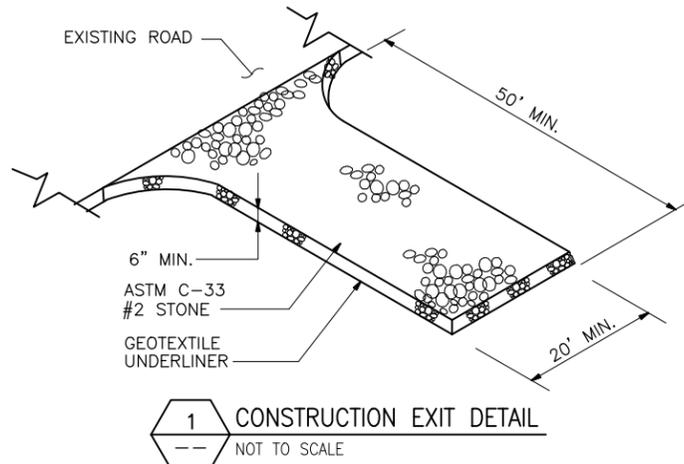
Drawing Number
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2016-646
 6-1-2016

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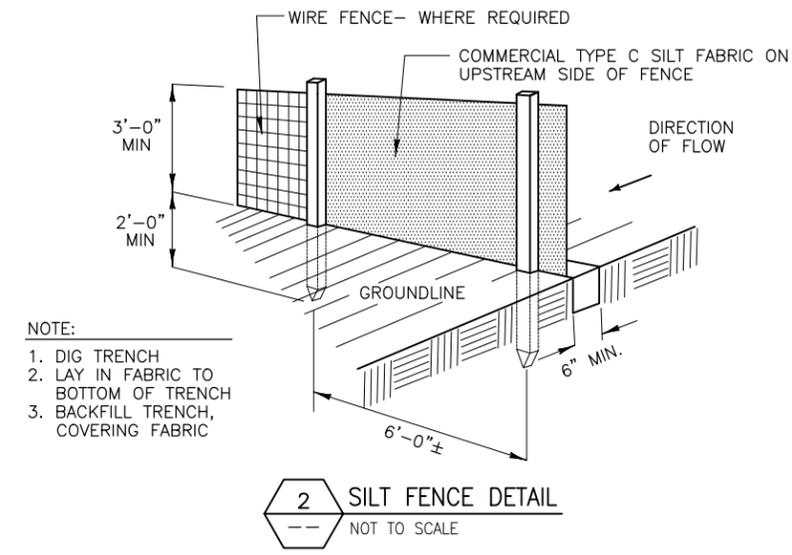
GRADING & EXCAVATING NOTES:

- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUNDWATER. DEWATERING FOR EXCESS GROUNDWATER SHALL BE PROVIDED IF REQUIRED.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
- USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND
-BE FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS
-BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR
- REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW, STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO ENGINEER'S APPROVAL.
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
- ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- ALL CUT AND FILL SLOPES SHALL BE MAXIMUM 2 HORIZONTAL TO 1 VERTICAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING SITE VEHICLE TRAFFIC AS TO NOT ALLOW VEHICLES LEAVING THE SITE TO TRACK MUD ONTO PUBLIC STREETS. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING PUBLIC STREETS DUE TO MUDDY VEHICLES LEAVING THE SITE.



GENERAL EROSION & SEDIMENT CONTROL NOTES:

- THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AND DETAILS AS SHOWN HEREIN AND STIPULATED WITHIN STATE STANDARDS SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE SEDIMENT LEAVING THE SITE.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY THE ENGINEER OR THE LOCAL JURISDICTION INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
- FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
- SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
- ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL EROSION & SEDIMENT CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.



- NOTE:
- DIG TRENCH
 - LAY IN FABRIC TO BOTTOM OF TRENCH
 - BACKFILL TRENCH, COVERING FABRIC

SEEDING GUIDELINES:

FINAL STABILIZATION OF ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, SHALL BE LOAMED AND SEEDED. LOAM SHALL BE PLACED AT A MINIMUM COMPACTED DEPTH OF 4". RECOMMENDED SEEDING DATES FOR PERMANENT VEGETATION SHALL BE BETWEEN JUNE 15 THROUGH AUGUST 1 AND SEPTEMBER 15 THROUGH OCTOBER 15. TEMPORARY VEGETATIVE MEASURES SHALL CONSIST OF AN ANNUAL OR PERENNIAL RYE GRASS WITH RECOMMENDED SEEDING DATES BEING FROM JUNE 1 THROUGH AUGUST 15 AND SEPTEMBER 30 THROUGH NOVEMBER 30.

EVALUATE PROPOSED COVER MATERIAL

BEFORE SPREADING COVER MATERIAL OVER THE DESIGNATED AREA, OBTAIN A REPRESENTATIVE SOIL SAMPLE AND SUBMIT TO A REPUTABLE SOIL TESTING LABORATORY FOR CHEMICAL AND PHYSICAL ANALYSIS. THE PRELIMINARY TEST IS NECESSARY TO DETERMINE THE REQUIRED INORGANIC AND/OR ORGANIC AMENDMENTS THAT ARE NEEDED TO ASSIST IN ESTABLISHING THE SEED MIXTURE IN AN ENVIRONMENTALLY AND ECONOMICALLY SOUND MANNER. THE RESULTS WILL GIVE THE COVER MATERIAL CHARACTERISTICS SUCH AS pH AND FERTILIZATION NEEDS. THESE RESULTS SHALL BE KEPT ON-SITE BY THE CONTRACTOR AND AVAILABLE FOR REVIEW BY THE COUNTY.

SEED BED PREPARATION

PROPOSED COVER MATERIAL SHOULD BE SPREAD EVENLY OVER THE SITE AREA IN A MINIMUM 4" LIFT VIA BULLDOZER/BUCKET LOADER. USING THE INFORMATION FROM THE SOIL ANALYSIS, CAREFULLY CALCULATE THE QUANTITIES OF LIMESTONE AND PRE-PLANT FERTILIZER NEEDED PRIOR TO APPLYING. PRE-PLANT AMENDMENTS CAN BE APPLIED WITH A BROADCAST AND/OR DROP SEEDER AND INCORPORATED WITH AN OFFSET DISK, YORK RAKE, AND/OR HAND RAKE. AFTER INCORPORATION THE PRE-PLANT SOIL AMENDMENTS, THE SEED BED SHOULD BE SMOOTH AND FIRM PRIOR TO SEEDING. THE FOLLOWING SEED MIXTURES SHALL BE USED AS NOTED:

SEED MIXTURE

SPECIES/VARIETY	LBS/ACRE
CREeping RED FESCUE	20
KENTUCKY BLUEGRASS	20
PERENNIAL RYEGRASS	5

SEED TIME AND METHOD

THE PREFERRED TIME FOR SEEDING THE COOL SEASON MIXTURE IS LATE SUMMER. SOIL AND AIR TEMPERATURES ARE IDEAL FOR SEED GERMINATION AND SEEDING GROWTH. WEED COMPETITION IS REDUCED BECAUSE SEEDS OF MANY WEED SPECIES GERMINATE EARLIER IN THE GROWING SEASON. ADDITIONALLY, HERBICIDE USE IS GREATLY REDUCED. HOWEVER, SEEDING MAY BE DONE AT ANY OF THE ABOVE NOTED TIMES.

MULCHING

NEWLY SEEDED AREAS SHOULD BE MULCHED TO INSURE ADEQUATE MOISTURE FOR SUCCESSFUL TURF ESTABLISHMENT AND TO PROTECT AGAINST SURFACE MOVEMENT OF SEDIMENT-BOUND AGROCHEMICALS AND SOIL EROSION. IF MULCHING PROCEDURES ARE NOT SPECIFIED ON PLANS, APPLY GOOD QUALITY STRAW OR HAY AT A RATE OF 2 BALES/1000 SQ. FT. OTHER COMMERCIALY AVAILABLE MULCHES CAN BE USED.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- WOVEN WIRE FENCE TO BE FASTENED SECURELY POSTS: STEEL EITHER T OR U TYPE. FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FILTER CLOTH: FILTER X, MIRAFI 100X' STABILINKA T140N OR APPROVED EQUAL.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE OR APPROVED EQUAL.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- ALL SILT FENCE MATERIALS MUST BE LISTED ON THE CURRENT STATES. D.O.T. QUALIFIED PRODUCTS LIST.

verticalbridge

INFINIGY FROM ZERO TO INFINIGY the solutions are endless

2255 SEWELL MILL ROAD, SUITE 130
MARIETTA, GA 30062
Office # (678) 444-4463

1	ISSUED FOR REVIEW	CJW	06/01/16
0	ISSUED FOR REVIEW	CJW	05/16/16
No.	Submittal / Revision	App'd	Date

Drawn: M.J. Date: 05/16/16
Designed: M.J. Date: 05/16/16
Checked: M.J. Date: 05/16/16

Project Number: 404-026

Project Title: US-NC-5027
LUTHERAN CHURCH
300 FINEVILLE MATTHEWS RD
MARTIN, NC 28105

SEAL 027720
6-01-16
ENGINEER
CHRISTOPHER J WARREN

DRAINAGE, GRADING & EROSION CONTROL NOTES & DETAILS

Drawing Scale: AS NOTED
Date: 05/16/16
ZD

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Drawing Number: 2016-646
6-1-2016
Z9

SUPERCEDED



SITE NAME : TO BE LOCATED HERE
 SITE # : TO BE LOCATED HERE
 FCC TOWER ID : TO BE LOCATED HERE

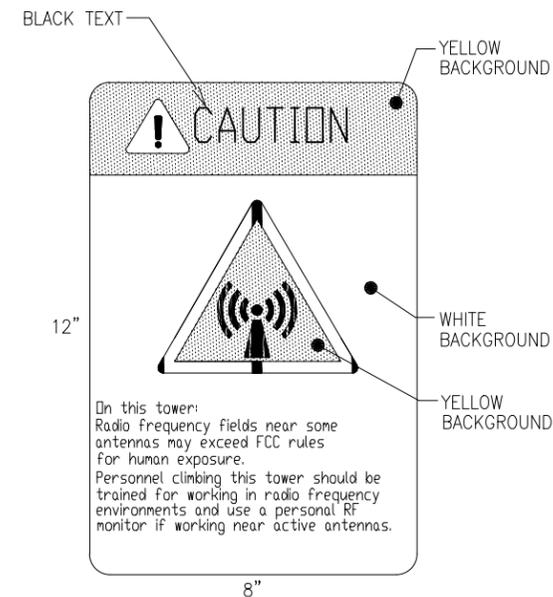
OWNED BY: VERTICAL BRIDGE
 TELEPHONE: 877-589-6411

WWW.VERTICALBRIDGE.COM
 SALES@VERTICALBRIDGE.COM
 OPERATIONS@VERTICALBRIDGE.COM

NO TRESPASSING

SIGNAGE NOTES:

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL & PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE & FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HDG RINGS (FENCE) OR BRACKETS, WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. ADDITIONAL E911 ADDRESS & FCC REGISTRATION SIGNS SHALL BE MOUNTED AT EACH ACCESS ROAD GATE LEADING TO THE COMPOUND AS WELL AS ON THE COMPOUND GATE ITSELF.
4. CARRIER SITE # & EMERGENCY CONTACT SIGNS SHALL BE MOUNTED ON THE EQUIPMENT CABINET WITH PERMANENT SET ADHESIVE. TWO SIDED TAPE SHALL BE UTILIZED AT EACH CORNER ON THE BACKSIDE TO AID PLACEMENT UNTIL THE ADHESIVE SETS.



RF EXPOSURE CAUTION SIGN

WHITE/YELLOW BACKGROUND, BLACK LETTERING
 MOUNTING LOCATION: BASE OF TOWER
 QUANTITY: 1



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 the solutions are endless

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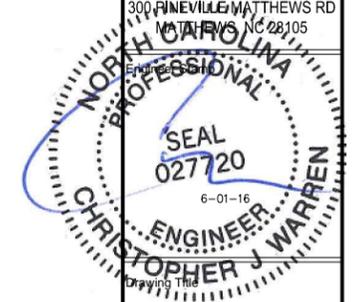
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 CHURCH

300 FINEVILLE MATTHEWS RD
 MATTHEWS, NC 28105



TYPICAL
 SITE SIGNAGE

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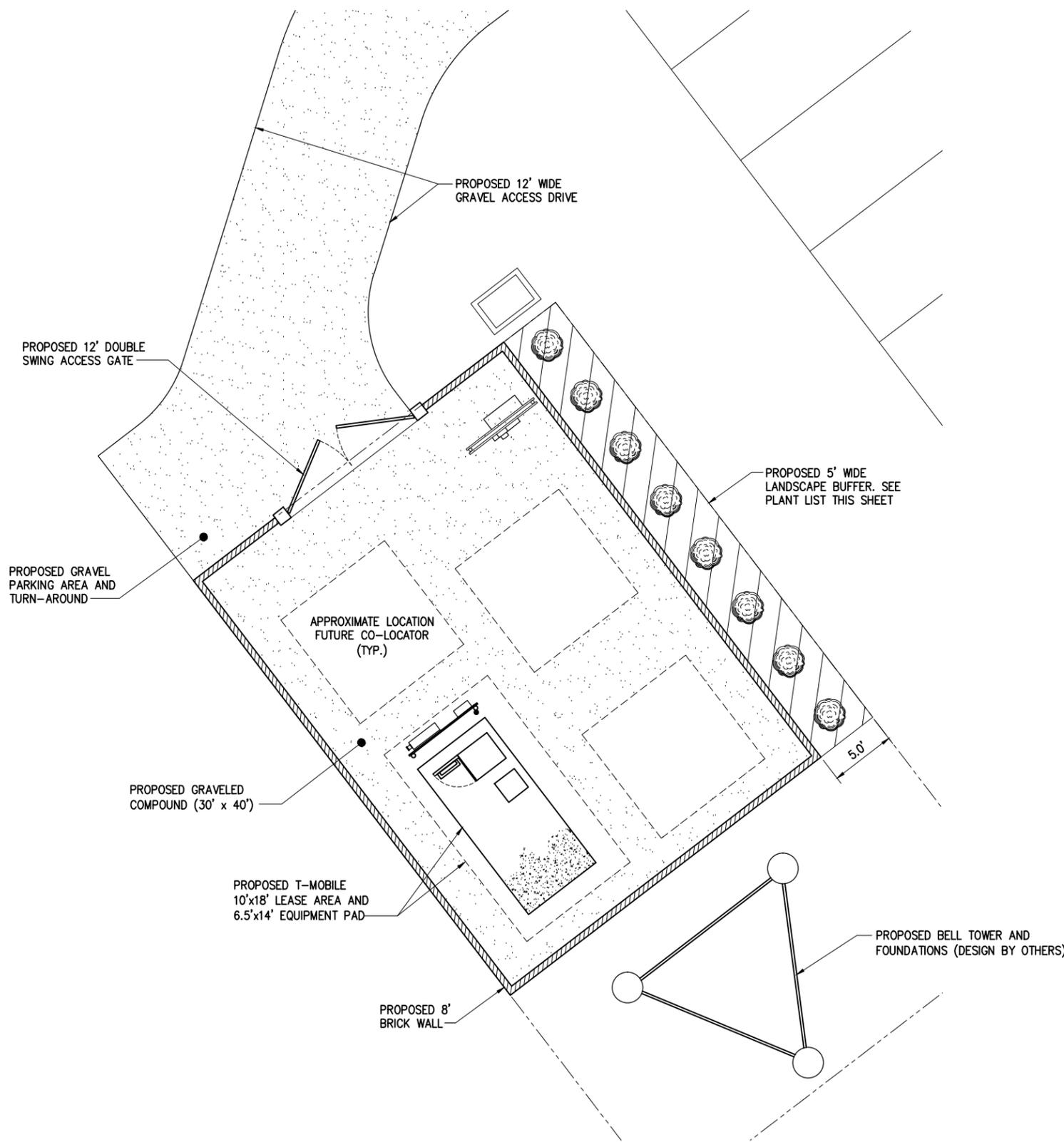
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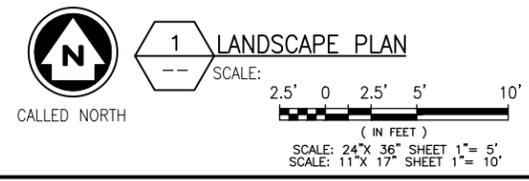
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2016-646
 6-1-2016

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PLANT LIST				
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL	MIN. TREE SIZE
	8	BURFORD HOLLY	Ilex cornuta 'Burfordii'	18"



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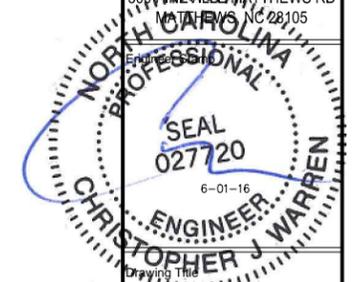
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LANDSCAPE PLAN

Drawing Scale:
AS NOTED

Date:
05/16/16

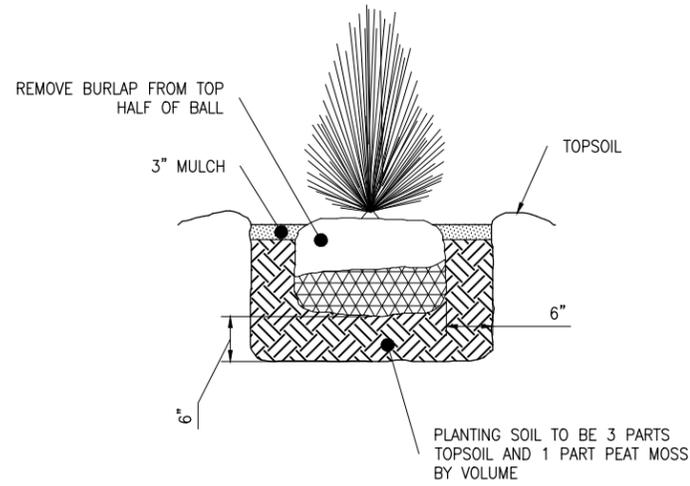
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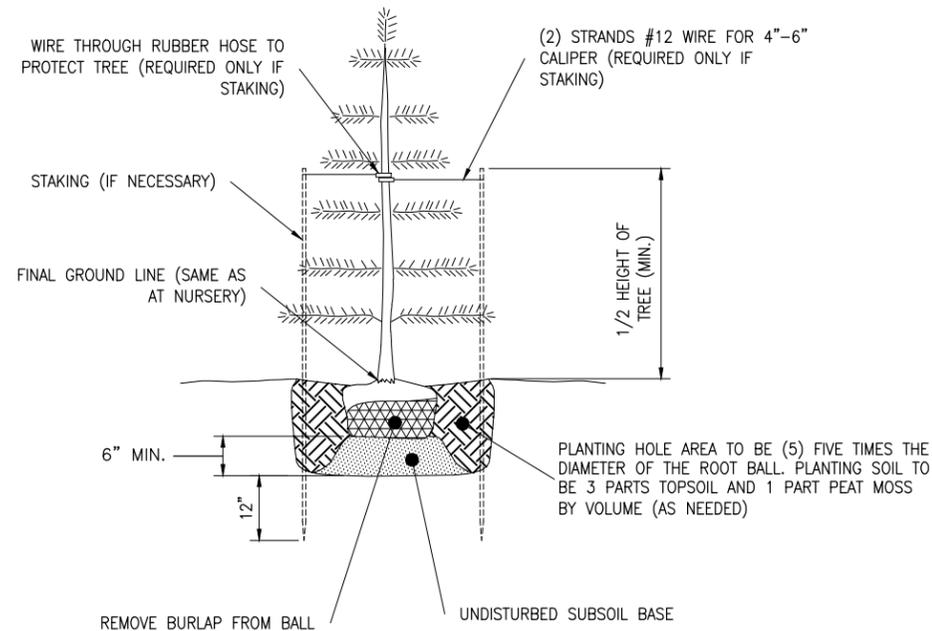
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2016-646
6-1-2016

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1 SHRUB PLANTING DETAIL
NOT TO SCALE



2 TREE PLANTING DETAIL
NOT TO SCALE

5' HT. - USE 2 STAKES, 1/2 HT. OF TREE + 2'

LANDSCAPE NOTES

A. PROJECT INCLUDES

1. FURNISH, INSTALL, AND MAINTAIN LANDSCAPE WORK AS SHOWN ON THESE CONTRACT DRAWINGS OR AS IDENTIFIED HEREIN.
 - A. TREES, SHRUBS AND GROUND COVER.
 - B. LAWNS.
 - C. TOPSOIL AND SOIL AMENDMENTS.
 - D. INITIAL MAINTENANCE OF INSTALLED LANDSCAPE MATERIAL.
 - E. PRUNING AND RELOCATION OF EXISTING PLANT MATERIALS.
 - F. RECONDITIONING EXISTING LAWNS AFFECTED BY CONSTRUCTION ACTIVITIES.

B. QUALITY ASSURANCE

1. PLANTS AND TREES: BALLED AND BURLAPED PLANTS AND TREES SHALL BE GRADED TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
2. TESTING: LABORATORY TESTING OF EXISTING SOILS AND FILL MATERIALS FOR SUITABLE SOIL AMENDMENTS AND FERTILIZER SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
3. CONTRACTOR SHALL PREPARE THE SURFACE OF DISTURBED AREAS PRIOR TO SEEDING.
4. FERTILIZER AND SEED SHALL BE APPLIED AT UNIFORM RATES AS DETERMINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
5. CONTRACTOR SHALL WATER SEEDED AREAS AS OFTEN AS REQUIRED TO OBTAIN GERMINATION AND TO OBTAIN AND MAINTAIN SATISFACTORY GROWTH.
6. THE STAND OF VEGETATIVE COVER RESULTING FROM SEEDING SHALL NOT BE CONSIDERED SATISFACTORY UNTIL ACCEPTED BY THE ENGINEER. IF AREAS ARE DETERMINED TO BE UNACCEPTABLE, THE MULCH WILL BE REMOVED AND ALL AREAS SHALL BE RESEED, REFERTILIZED AND REMULCHED PER RECOMMENDED APPLICATION PROCEDURES AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL BEGIN MAINTENANCE PERIOD IMMEDIATELY AFTER PLANTING OF VEGETATIVE COVER.
8. THE CONTRACTOR SHALL MAINTAIN THE VEGETATIVE COVER AREA, FOR THE PERIODS REQUIRED TO ESTABLISH AN ACCEPTABLE GROWTH, BUT NOT LESS THAN 60 DAYS AFTER THE COMPLETION OF PLANTING OF VEGETATIVE COVER. IF SEEDED IN THE FALL AND NOT GIVEN A FULL 60 DAYS OF MAINTENANCE, OR IF NOT CONSIDERED ACCEPTABLE BY THE ENGINEER AT THAT TIME, CONTINUE MAINTENANCE DURING THE FOLLOWING SPRING UNTIL ACCEPTABLE VEGETATIVE COVER STAND IS ESTABLISHED.

C. PRODUCTS

1. PLANT MATERIALS SHALL BE AS SHOWN ON THESE CONTRACT DRAWINGS AND MAY BE ANY COMBINATION OF THE FOLLOWING:
 - A. DECIDUOUS TREES.
 - B. DECIDUOUS SHRUBS.
 - C. CONIFEROUS AND BROAD LEAFED EVERGREEN TREES AND SHRUBS.
 - D. GROUND COVER.
 - E. PLANTS.
2. LAWNS: LAWN MAY BE ANY OF THE FOLLOWING, AS APPROVED BY THE ENGINEER: SEED; NEW CROP SEED MIXTURE; SOD, STRONGLY ROOTED, 2 YEARS OLD; OR SOD PLUGS AND SPRIGS.
3. TOPSOIL: FERTILE, FRIABLE TOPSOIL FROM OFFSITE, OR FROM SITE STOCKPILE WITH ADDITIONAL MIXED-IN FERTILE, FRIABLE TOPSOIL FROM LOCAL SUPPLIERS OF TOPSOIL.
4. SOIL AMENDMENTS: THE SOIL AMENDMENTS MAY BE ANY OF THE FOLLOWING, AS REQUIRED OR INDICATED IN THE LABORATORY TESTING REPORTS.
 - A. LIME: DOLOMITIC LIMESTONE.
 - B. ALUMINUM SULFATE: COMMERCIAL GRADE.
 - C. PEAT HUMUS: FINELY DIVIDED PEAT.
 - D. SUPERPHOSPHATE: 20 PERCENT AVAILABLE PHOSPHORIC ACID.
 - E. SAND: CLEAN, WASHED SAND.
 - F. PERLITE: NBS PS 23.
 - G. SAWDUST: ROTTED SAWDUST FREE OF CHIPS AND STONES.
 - H. MANURE: ROTTED STABLE MANURE.
 - I. COMMERCIAL FERTILIZER: NEUTRAL CHARACTER FOR PLANT MATERIALS AND LAWNS.
 - J. MULCH: SHREDDED HARDWOOD MULCH.
5. LANDSCAPE MATERIALS: THE LANDSCAPE MATERIALS MAY BE ANY OF THE FOLLOWING, AS SHOWN ON THESE CONTRACT DRAWINGS.
 - A. GRAVEL: WATER-WORN GRAVEL.
 - B. ANTI-EROSION MULCH: SEED-FREE SALT HAY OR THRESHED STRAW.
 - C. ANTI-DESICCANT: EMULSION TYPE, FILM-FORMING.
 - D. PLASTIC SHEET: BLACK POLYETHYLENE, 8 MILS.
 - E. FILTRATION FABRIC: WATER PERMEABLE FIBERGLASS OR POLYPROPYLENE FABRIC.
 - F. WRAPPING: TREE-WRAP TAPE.
 - G. STAKES AND GUYS: NEW HARDWOOD, TREATED SOFTWOOD, OR REDWOOD.
 - H. METAL EDGING: COMMERCIAL STEEL EDGING.
 - I. WOOD HEADERS AND EDGING: ALL HEART REDWOOD OR PRESSURE TREATED SOUTHERN YELLOW PINE.

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MATHIAS, NC 28105



LANDSCAPE
DETAILS

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